



PLANNING & ZONING COMMISSION REGULAR MEETING

City of Dripping Springs

DRIPPING SPRINGS Council Chambers, 511 Mercer St, Dripping Springs, TX
Texas

Tuesday, August 23, 2022 at 6:00 PM

Agenda

CALL TO ORDER AND ROLL CALL

Commission Members

Mim James, Chair
Tammie Williamson, Vice Chair
Christian Bourguignon
Doug Crosson
John McIntosh
Douglas Shumway
Evelyn Strong

Staff, Consultants & Appointed/Elected Officials

Deputy City Administrator Ginger Faught
City Attorney Laura Mueller
City Secretary Andrea Cunningham
IT Director Jason Weinstock
Planning Director Howard Koontz
Senior Planner Tory Carpenter
Planning Assistant Warlan Rivera

PLEDGE OF ALLEGIANCE

PRESENTATION OF CITIZENS

A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.

CONSENT AGENDA

The following items are anticipated to require little or no individualized discussion due to their nature being clerical, ministerial, mundane or routine. In an effort to enhance the efficiency of Planning & Zoning Commission meetings, it is intended that these items will be acted upon by the Planning & Zoning Commission with a single motion because no public hearing or determination is necessary. However, a Planning & Zoning Commission Member or citizen may request separate deliberation for a specific item, in which event those items will be removed from the consent agenda prior to the Planning & Zoning Commission voting on the consent agenda as a collective, singular item. Prior to voting on the consent agenda, the Planning & Zoning Commission may add additional items that are listed elsewhere on the same agenda.

- 1. Approval of the July 26, 2022, Planning & Zoning Commission regular meeting minutes.**
- 2. Approval of SUB2022-0028: an application for the Parten Ranch Phase 8 Preliminary Plat for a 81.03 acre tract out of the Seaborn J. Whately and Lamar Moore Surveys located in the northwest corner of the Parten Ranch development. Applicant: Lauren Crone, LJA Engineering, Inc.**
- 3. Denial of SUB2022-0028: an application for the Driftwood Phase One Lot 2 preliminary plat for a 25.22 acre tract being lot 2 of the Driftwood 967 Phase One minor plat. Applicant: Chris Earthman, Driftwood 25-ACA LP.**
- 4. Denial of SUB2022-0039: an application for the Village Grove preliminary plat for a 112.40 acre tract out of the CH Malott and Philip A Smith surveys located south of U.S. 290 and east of Rob Shelton Blvd. along Sports Park Road adjacent to the Sports and Recreation Park directly south and adjacent to Wallace Mountain, and directly west and adjacent to The Preserve subdivision. Applicant: Ryan Perry, Doucet Engineers.**

BUSINESS

- 5. Public hearing and consideration of SUB2022-0038: an application for the Hanelius Replat for a 7.9 acre tract located at 449 Twin Oaks Trail. Applicant: Nash Gonzales, Lenworth Consulting, LLC**
 - a. Applicant Presentation
 - b. Staff Report
 - c. Public Hearing
 - d. Replat
- 6. Public hearing and consideration of a recommendation regarding ZA2022-0003: an application to consider a proposed zoning map amendment from Agriculture (AG) to Commercial Services (CS) for approximately 3.209 acres out of the Philip A Smith Survey, located at 501 Sportsplex Drive. Applicant: Bob Richardson, Dripping Springs Community Library.**
 - a. Applicant Presentation
 - b. Staff Report
 - c. Public Hearing
 - d. Zoning Amendment

7. Public hearing and consideration of a recommendation regarding ZA2022-0005: an application for an amendment to the Shops at Highpointe Conditional Overlay for an approximately 10.0 acres of land out of tract A of the Sawyer Springs Subdivision located at the corner of US 290 and Sawyer Ranch Road. Applicant: JD Dudley, QuikTrip Corporation.

- a. Applicant Presentation
- b. Staff Report
- c. Public Hearing
- d. Conditional Overlay Amendment

8. Public hearing and consideration of a recommendation regarding ZA2022-0004: an application for a zoning map amendment from Two-Family Residential - Duplex (SF-4) to Multiple-family Residential (MF) and Conditional Overlay for 0.75 acres being lot 1, block 1 of the Van Merkel Addition located at 102 Rose Drive. Applicant: Jon Thompson.

- a. Applicant Presentation
- b. Staff Report.
- c. Public Hearing
- d. Zoning Amendment

PLANNING & DEVELOPMENT REPORTS

9. Planning Department Report

EXECUTIVE SESSION

The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.

UPCOMING MEETINGS

Planning & Zoning Commission Meetings

September 13, 2022, at 6:00 p.m.

September 27, 2022, at 6:00 p.m.

October 11, 2022, at 6:00 p.m.

October 25, 2022, at 6:00 p.m.

City Council & Board of Adjustment Meetings

August 30, 2022, at 5:30 p.m.

September 6, 2022, at 6:00 p.m. (CC & BOA)

September 13, 2022, at 5:30 p.m.

September 20, 2022 at 6:00 p.m.

ADJOURN

TEXAS OPEN MEETINGS ACT PUBLIC NOTIFICATION & POSTING OF MEETING

All agenda items listed above are eligible for discussion and action unless otherwise specifically noted. This notice of meeting is posted in accordance with Chapter 551, Government Code, Vernon's Texas Codes. Annotated. In addition, the Commission may consider a vote to excuse the absence of any Commissioner for absence from this meeting.

*I certify that this notice of meeting was posted at the City of Dripping Springs City Hall and website, www.cityofdrippingsprings.com, on **August 19, 2022, at 5:00 p.m.***

City Secretary

This facility is wheelchair accessible. Accessible parking spaces are available. Requests for auxiliary aids and services must be made 48 hours prior to this meeting by calling (512) 858-4725.



DRIPPING SPRINGS
Texas

PLANNING & ZONING COMMISSION REGULAR MEETING

City of Dripping Springs

Dripping Springs Ranch Park Event Center, 1042 Event Center
Drive, Dripping Springs, TX

Tuesday, July 26, 2022 at 6:00 PM

MINUTES

CALL TO ORDER AND ROLL CALL

With a quorum of the Commission present, Chair James called the meeting to order at 6:02 p.m.

Commission Members present were:

Mim James, Chair
Tammie Williamson, Vice Chair
Doug Crosson
Douglas Shumway
Evelyn Strong

Commission Members absent were:

Christian Bourguignon
John McIntosh

Staff, Consultants & Appointed/Elected Officials present were:

Planning Director Howard Koontz
Senior Planner Tory Carpenter
Planning Assistant Warlan Rivera

PLEDGE OF ALLEGIANCE

Chair James led the Pledge of Allegiance to the Flag.

PRESENTATION OF CITIZENS

A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.

No one spoke during Presentation of Citizens.

CONSENT AGENDA

The following items are anticipated to require little or no individualized discussion due to their nature being clerical, ministerial, mundane or routine. In an effort to enhance the efficiency of Planning & Zoning Commission meetings, it is intended that these items will be acted upon by the Planning & Zoning Commission with a single motion because no public hearing or determination is necessary. However, a Planning & Zoning Commission Member or citizen may request separate deliberation for a specific item, in which event those items will be removed from the consent agenda prior to the Planning & Zoning Commission voting on the consent agenda as a collective, singular item. Prior to voting on the consent agenda, the Planning & Zoning Commission may add additional items that are listed elsewhere on the same agenda.

1. **Approval of the June 28, 2022, Planning & Zoning Commission regular meeting minutes.**
2. **Denial of SUB2021-0073: an application for the Hardy T Land Preliminary Plat for a 78.02 acre tract located at the intersection of Bunker Ranch Boulevard and Ross Street out of the Benjamin F. Hannah Survey. Applicant: Brian Estes, P.E., Civil & Environmental Consultants, Inc.**
3. **Denial of SUB2022-0033: an application for the Ranch at Caliterra Preliminary Plat for a 200.025 acre tract located west of the Caliterra Subdivision out of the Benjamin F. Hannah Survey. Applicant: Bill E. Couch, Carlson Brigrance, and Doering, Inc.**

A motion was made by Vice Chair Williamson to approve Consent Agenda Items 1 – 3. Commissioner Strong seconded the motion which carried unanimously 5 to 0.

BUSINESS

4. **Public hearing and consideration of approval of SUB2022-0022: an application for the Ladera Lot 2 replat for a 15 acre tract located at 4630 W US 290. Applicant: Jon Thompson**

a. Applicant Presentation – Jon Thompson presented the item and was available for questions from the Commission.

b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends approval of the replat with the condition that the applicant provide Hays County 1445 Approval Letter.

c. Public Hearing – No one spoke during the Public Hearing.

d. Replat – A motion was made by Vice Chair Williamson to approve SUB2022-0022: an application for the Ladera Lot 2 replat for a 15 acre tract located at 4630 W US 290 as recommended by staff. Commissioner Crosson seconded the motion which carried unanimously 5 to 0.

5. Public hearing and consideration of approval of VAR2022-0006: a variance request to reduce the fee in lieu amount required for sidewalks associated with the Patriots' Hall Site Expansion. *Applicant: Kathryn Chandler, Patriots' Hall of Dripping Springs.*

a. Applicant Presentation – Applicant Kathryn Chandler and representative John Doucet gave a presentation which is on file.

b. Staff Report – Tory Carpenter presented the staff report which is on file. Staff recommends denial of the variance. If the Commission chooses to approve the variance, staff recommends requiring a public pedestrian path from the southeast corner of the property to the northwest corner of the property.

c. Public Hearing – Jon Thompson, Jeff Wells, Justin Miollnir and Charlie Barnett spoke in favoring of granting approval of the request.

d. Variance Request – A motion was made by Vice Chair Williamson to approve VAR2022-0006: a variance request to reduce the fee in lieu amount required to one-half, for sidewalks associated with the Patriots' Hall Site Expansion. Commissioner Strong seconded the motion which failed 2 to 3, with Chair James and Commissioners Crosson and Shumway opposed.

A motion was made by Commissioner Crosson to approve VAR2022-0006: a variance request and waive fee-in-lieu of sidewalks associated with the Patriots' Hall Site Expansion. Vice Chair Williamson seconded the motion which failed 1 to 4, with Chair James, Vice Chair Williamson, and Commissioners Strong and Shumway opposed.

A motion was made by Chair James to approve VAR2022-0006: a variance request as submitted by the applicant to reduce the fee-in-lieu amount required for sidewalks associated with the Patriots' Hall Site Expansion. Vice Chair Williamson seconded the motion which carried 4 to 1, with Commissioner Crosson opposed.

PLANNING & DEVELOPMENT REPORTS

6. Planning Department Report

Howard Koontz presented the Planning Department Report which is on file.

EXECUTIVE SESSION

The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.

The Commission did not meet in Executive Session.

UPCOMING MEETINGS

Planning & Zoning Commission Meetings

August 9, 2022 at 6:00 p.m.

August 23, 2022, at 6:00 p.m.

September 13, 2022, at 6:00 p.m.

September 27, 2022, at 6:00 p.m.

City Council & Board of Adjustment Meetings

August 2, 2022, at 6:00 p.m. (CC & BOA)

August 9, 2022, at 5:30 p.m. (CC) August 16, 2022, at 6:00 p.m. (CC)

August 30, 2022, at 5:30 p.m. (CC)

ADJOURN

A motion was made by Commissioner Strong to adjourn the meeting. Commissioner Crosson seconded the motion which carried unanimously 5 to 0.

This regular meeting adjourned at 7:30 p.m.

NO.	DESCRIPTION	BY	DATE

DATE	
DESIGNED BY	
CHECKED BY	
NAME	PHASE 8 PLAT.DWG

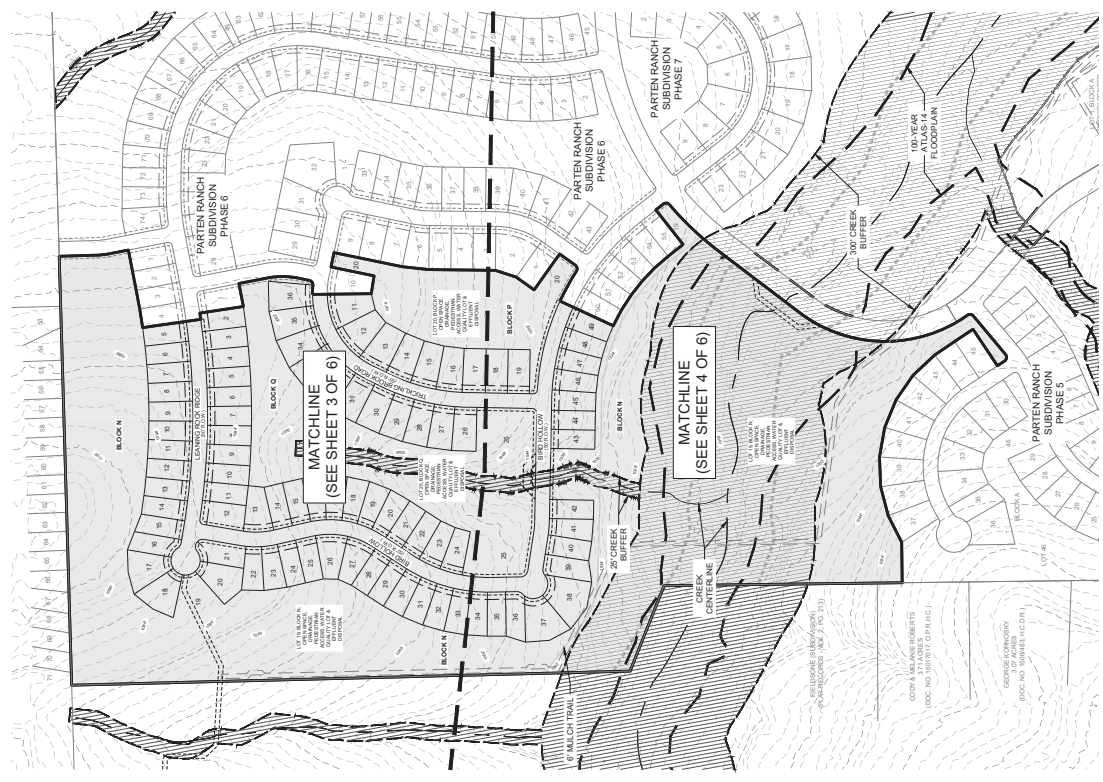


LIA Engineering, Inc.
 1500 Ross Boulevard
 Austin, Texas 78735
 P&H - F-1398
 P&H - F-1399
 P&H - F-1400

JOB NUMBER: A311-0413
 SHEET NO. 2
 OF 6 SHEETS

Item 2.

LEGEND
 PROPOSED BOUNDARY
 10' P. U.E.
 BUILDING SETBACK
 CREEK BUFFER
 100 YR FLOODPLAIN - CALCULATED (ATLAS-14 PRECIPITATION)



NO.	DESCRIPTION	BY	DATE

DATE:	11/02/22
DESIGNED BY:	DANIEL BRYAN
CHECKED BY:	DANIEL BRYAN
DRAWING NAME:	PRELIMINARY PLAT



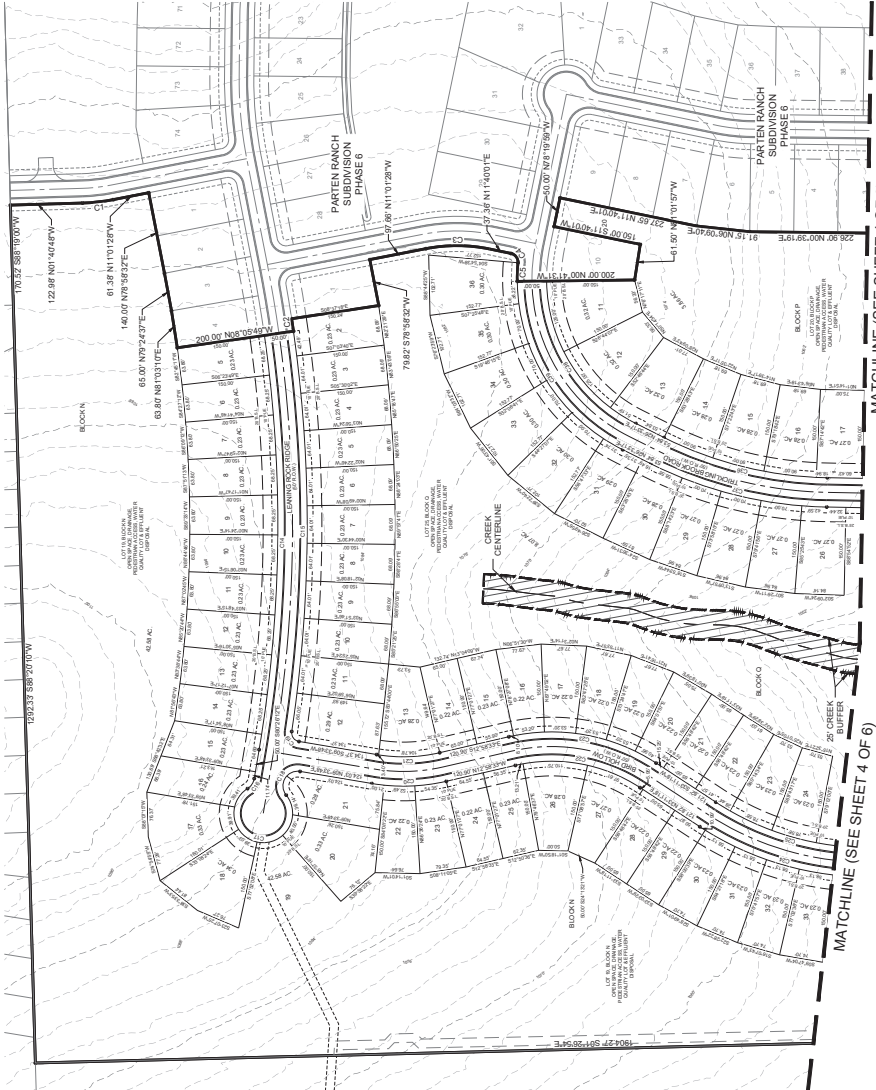
LA Engineering, Inc.
1500 Ross Boulevard
Austin, Texas 78735
Phone: 512.439.4710
Fax: 512.439.4716
Firm: F-1398

JOB NUMBER: A311-0413
SHEET NO. 3
OF 6 SHEETS

Item 2.

LEGEND

- PROPOSED BOUNDARY
- - - 10' P.U.E.
- - - BUILDING SETBACK
- - - CREEK BUFFER
- ▨ 10 YR FLOOD, AIR-CALCULATED (ATLAS-14 PRECIPITATION)



11/02/22 10:44 AM: 11429222 Prelim Plat from Phase 8 Preliminary Plat - 08/24/22
 User: daniel
 Job: A311-0413
 Job Name: 11_22 - 08/24/22
 Job Number: A311-0413

NO.	DESCRIPTION	BY	DATE

DATE:	11/20/22
DESIGNED BY:	DANIEL BYRNE
CHECKED BY:	DANIEL BYRNE
DRAWING NAME:	PRELIMINARY PLAT



From: 512.439.4716
Fax: 512.439.4716
P.E. No. 1396

LA Engineering, Inc.
1500 Ross Boulevard
Austin, Texas 78735

JOB NUMBER: A311-0413
SHEET NO. 4
OF 6 SHEETS

Item 2.

SCALE IN FEET

LEGEND

- PROPOSED BOUNDARY
- 10' P.U.E.
- BUILDING SETBACK
- CREEK BUFFER
- 10 YR FLOODPLAIN, AIR-CALCULATED (ATLAS-14 PRECIPITATION)



1.3341 Parten Ranch Phase 8 Preliminary Plat - SHEET 2 OF 6
Parten Ranch, LLC, 11/22/22 - 08:38:00
Last Modified: 11/22/22 08:38:00
User: dbyrne

Item 2.

5
SHEETS

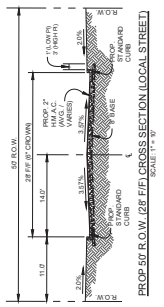
L/A Engineering, Inc.
 1500 Ross Boulevard
 Austin, Texas 78735
 FPN - F-1398
 P&M 512.459.4716



NO.	DESCRIPTION	DATE

PARTEN RANCH PHASE 8
 PRELIMINARY PLAT
 LINE AND CURVE TABLE

CURVE #	ACCLINENH	RADIUS	CHORD BEING	CHORD ANGLE	CHORD ANGLE
C1	33.02	305.00	67.51 30'	20.62	52.95
C2	21.82	250.00	67.51 30'	30.30	21.62
C3	108.91	275.00	327.41 30'	55.18	108.30
C4	21.30	15.00	837.14 30'	0.30	90.83
C5	31.30	305.00	67.50 30'	5.90	317.7
C6	22.87	15.00	877.20 30'	4.30	2017
C7	110.17	805.00	772.92 30'	58.49	118.87
C8	20.10	15.00	877.23 30'	4.30	2017
C9	20.10	15.00	877.23 30'	4.30	2017
C10	20.10	15.00	877.23 30'	4.30	2017
C11	40.87	485.00	675.72 30'	130.83	430.83
C12	22.37	15.00	887.28 30'	0.30	2017
C13	20.10	15.00	887.28 30'	0.30	2017
C14	208.83	205.00	177.39 30'	307.30	208.13
C15	604.89	205.00	177.39 30'	307.30	604.18
C16	21.00	21.00	487.11 30'	11.30	2041
C17	201.10	55.00	270.22 30'	44.72	6017
C18	201.10	55.00	270.22 30'	44.72	6017
C19	201.10	55.00	270.22 30'	44.72	6017
C20	127.65	305.00	327.32 30'	64.78	127.00
C21	108.18	275.00	327.32 30'	64.80	107.48
C22	201.10	275.00	487.09 30'	117.20	210.63
C23	201.10	275.00	487.09 30'	117.20	210.63
C24	314.88	45.00	347.18 30'	148.03	308.19
C25	204.44	45.00	347.18 30'	148.03	202.17
C26	21.00	15.00	877.23 30'	4.30	2017
C27	21.00	15.00	877.23 30'	4.30	2017
C28	21.00	15.00	877.23 30'	4.30	2017
C29	21.00	15.00	877.23 30'	4.30	2017
C30	21.00	15.00	877.23 30'	4.30	2017
C31	39.40	275.00	777.90 30'	22.14	4417
C32	381.83	805.00	237.46 30'	108.30	380.53
C33	313.88	805.00	237.46 30'	108.48	311.58
C34	22.87	15.00	877.20 30'	4.30	2017
C35	22.87	15.00	877.20 30'	4.30	2017
C36	22.87	15.00	877.20 30'	4.30	2017
C37	22.87	15.00	877.20 30'	4.30	2017
C38	201.10	275.00	827.48 30'	107.71	200.68
C39	201.10	275.00	827.48 30'	107.71	200.68



PROP. 100 R.O.W. (28' F&E) CROSS SECTION (LOCAL STREET)
 SCALE 1" = 8'

NO.	DESCRIPTION	BY	DATE

DATE:	07/14/2022
DESIGNED BY:	
CHECKED BY:	
DRAWN BY:	
NAME:	PRELIMINARY PLAT



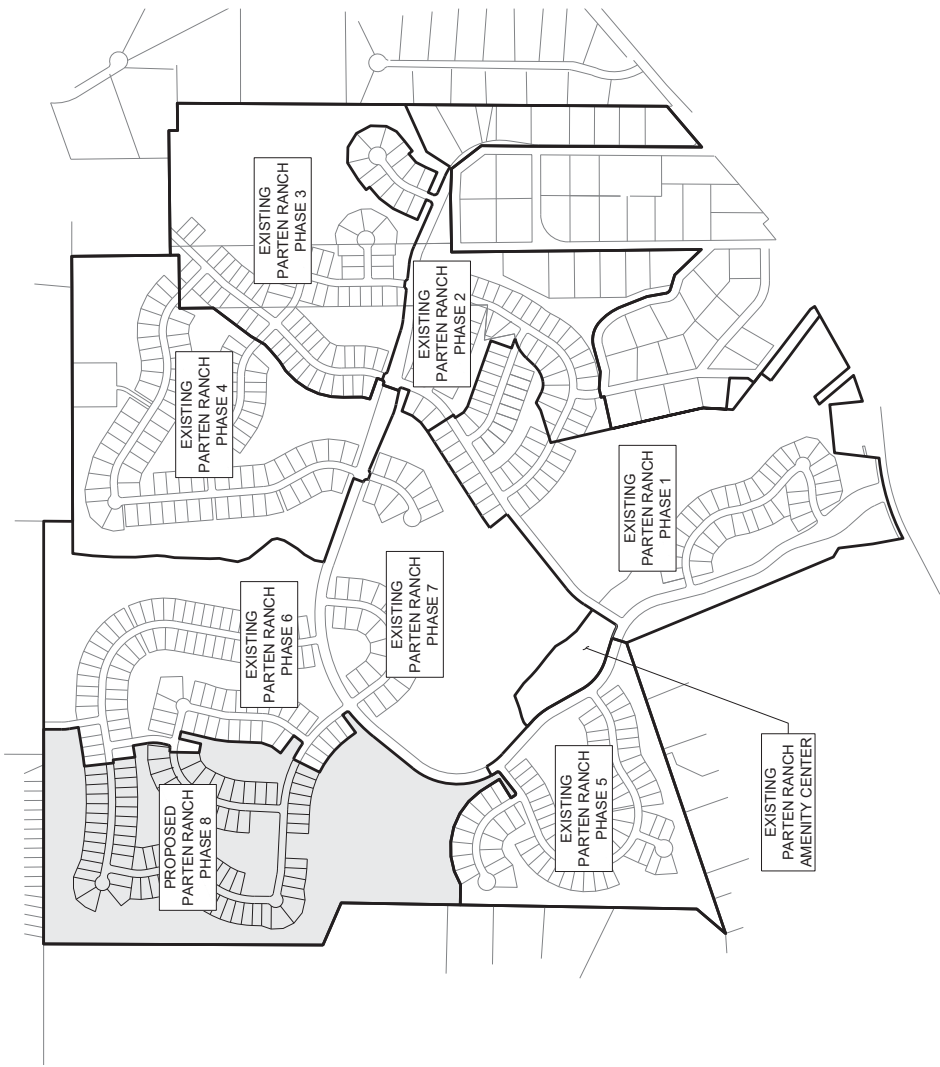
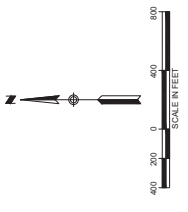
FROM: 512.439.4716
FAX: 512.439.4716
FIRM: F-1398

LJA Engineering, Inc.
1500 Roubidoux Blvd
Austin, Texas 78735

JOB NUMBER: A311-0413
SHEET NO. 6

OF 6 SHEETS

Item 2.



L:\3111\Parten\0413\Parten Ranch Phase 8 Preliminary Plat-0818-PL1.dwg
Date Plotted: 04/22/22 09:28:15
Plot Size: 11.25 x 17.25



Planning and Zoning Commission Planning Department Staff Report

Item 2.

Planning and Zoning Commission Meeting: August 23 28, 2022
Project No: SUB2022-0028
Project Planner: Tory Carpenter, AICP - Senior Planner

Item Details

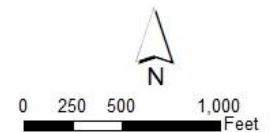
Project Name: Parten Ranch Phase 8 Preliminary Plat
Property Location: Leaning Rock Ridge & Bird Hollow
Legal Description: 81.03 acres, out of the Seaborn J Whately and Lamar Moore Surveys
Applicant: Lauren Crone, LJA Engineering
Property Owner: HM Parten Ranch Development, Inc.
Staff recommendation: Conditional approval of the Preliminary Plat



Location Map

*SUB2022-0028
 Parten Ranch Phase 8
 Preliminary Plat*

— Roads
 — Parcel Lines



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Planning Department Staff Report

Overview

This preliminary plat consists of 87 single-family lots.

Access and Transportation

Primary access to the subdivision will be through other phases of the Parten Ranch development.

Site Information

Location: Leaning Rock Ridge & Bird Hollow

Zoning Designation: ETJ / Parten Ranch Development Agreement

Property History

The Parten Ranch development agreement was approved in 2016.

Recommendation

Approval with the following condition:

- 1. Provide the Hays County 1445 approval letter.

Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Preliminary Plat

Recommended Action	Conditional approval.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



DRIPPING SPRINGS
Texas

City of Dripping Springs

Item 2.

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

PRELIMINARY PLAT APPLICATION

Case Number (staff use only): _____ - _____

MEETINGS REQUIRED

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION

PRE-APPLICATION CONFERENCE

DATE: _____

DATE: _____

NOT SCHEDULED

NOT SCHEDULED

CONTACT INFORMATION

APPLICANT NAME Lauren Crone, P.E.

COMPANY LJA Engineering, Inc.

STREET ADDRESS 7500 Rialto Boulevard Building II, Suite 100

CITY Austin **STATE** Texas **ZIP CODE** 78735

PHONE (512) 439-4700 **EMAIL** lcrone@lja.com ; jreyes@lja.com

OWNER NAME HM Parten Ranch Development, Inc.

COMPANY HM Parten Ranch Development, Inc.

STREET ADDRESS 1011 North Lamar Blvd

CITY Austin **STATE** Texas **ZIP CODE** 78703

PHONE 512-477-2439 **EMAIL** jay@jayhanna.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	HM Parten Ranch Development, Inc.
PROPERTY ADDRESS	End of Bird Hollow near Trickleing Brook Road Intersection.
CURRENT LEGAL DESCRIPTION	81.03 ACRES OF LAND IN THE SEABORN J. WHATLEY SURVEY A-18 AND THE LAMAR MOORE SURVEY A-323 AND A PORTION OF THE 521.542 ACRES RECORDED IN DOC #2016-16004247
TAX ID #	R16615
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	81.03
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	ESD #6 and ESD #1
ZONING/PDD/OVERLAY	Dripping Springs ETJ
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input checked="" type="checkbox"/> City/County (public) Name: <u>Bird Hollow</u>
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>Parten Ranch Development Agreement</u>

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input type="checkbox"/> NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Parten Ranch Phase 8
TOTAL ACREAGE OF DEVELOPMENT	81.03
TOTAL NUMBER OF LOTS	90
AVERAGE SIZE OF LOTS	
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> INDUSTRIAL/OTHER: <u>Drainage/Open Space</u>
# OF LOTS PER USE	RESIDENTIAL: <u>87</u> COMMERCIAL: _____ INDUSTRIAL: <u>3</u>
ACREAGE PER USE	RESIDENTIAL: <u>26.53</u> COMMERCIAL: _____ INDUSTRIAL: <u>54.50</u>
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>3954</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p>	

COMMENTS: _____

TITLE: PM SIGNATURE: Laura Crone

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): Pedernales Electric Cooperative

VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): Verizon or AT&T

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WATER PROVIDER NAME (if applicable): West Travis County Public Utility Agency

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): Springhollow MUD

VERIFICATION LETTER ATTACHED NOT APPLICABLE

GAS PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO

APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Lauren Crone, P.E.

Applicant Name

Lauren Crone

4/20/2022

Applicant Signature


Laura Kruppner

Date
4-20-22

Notary

Date

Notary Stamp Here



HM Parten Ranch Development, Inc.

Property Owner Name

Jay [Signature]

5/11/22

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: Laura Cone Date: 3/24/2022

For projects within the ETJ, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

PRELIMINARY PLAT CHECKLIST
Subdivision Ordinance, Section 4

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contract Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Drainage Study
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Plats (3 copies required – 11 x 17)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility Service Provider “Will Serve” Letters
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County,)

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<input type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing Hays County 911 addressing approval (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkland Dedication Submittal (narrative, fees)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ITE Trip Generation Report, or if required; a Traffic Impact Analysis
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (<i>if applicable</i>)
<input type="checkbox"/>	<input type="checkbox"/>	Hays Trinity Groundwater Conservation District approval of water well (<i>if applicable</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Conference Form signed by City Staff
PRELIMINARY PLAT INFORMATION REQUIREMENTS		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with

		the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All physical features of the property to be subdivided shall be shown, including: <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency

		<p>(FEMA) information; and</p> <ul style="list-style-type: none"> - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and - Ravines; and - Bridges; and - Culverts; and - Existing structures; and - Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and - Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Schematic Engineering plans of water and sewer lines and other infrastructure</p>

		(including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor’s certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair’s absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:
<input type="checkbox"/>	<input type="checkbox"/>	If any amount of surface water is to be used by the subject property, the

		Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant’s plans for the project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).
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NARRATIVE OF COMPLIANCE

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

Outdoor Lighting, Article 24.06	Per section 4.1 of the Development Agreement the Owner voluntarily agreed to comply with the City's lighting ordinance in effect at the time of the Agreement which was November 2015.
Parkland Dedication, Article 28.03	Per section 2.4.2 of the Development Agreement Parkland Dedication is met through a dedication of land out of the property to Springhollow MUD, provision of the private recreational facilities (Amenity Center), conveyance of parkland to City of Dripping Springs, and conveyance of parkland to the HOA.
Landscaping and Tree Preservation, Article 28.06	Per the Development Agreement, Section 2.6.6 (c) and (d), the use of native species of plant materials are encouraged throughout the project. In addition, and IPM (integrated pest management plan) is applicable to the entire property. Finally, two 3 inch trees shall be planted on every single family lot.

Subdivision, 28.02, Exhibit A	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>All public improvements will comply with the City of Dripping Springs and Hays County standards, as modified by the Development Agreement.</p> <p>All improvements to offsite roads have been completed or are under contract, satisfying the requirement for highway access listed under 3.13 of the Development Agreement.</p>
Zoning, Article 30.02, Exhibit A	<p>Not applicable. Per the Development Agreement Owner has agreed that all habitable buildings will be constructed in accordance with City building Code; and building permits will be obtained by the builders.</p>



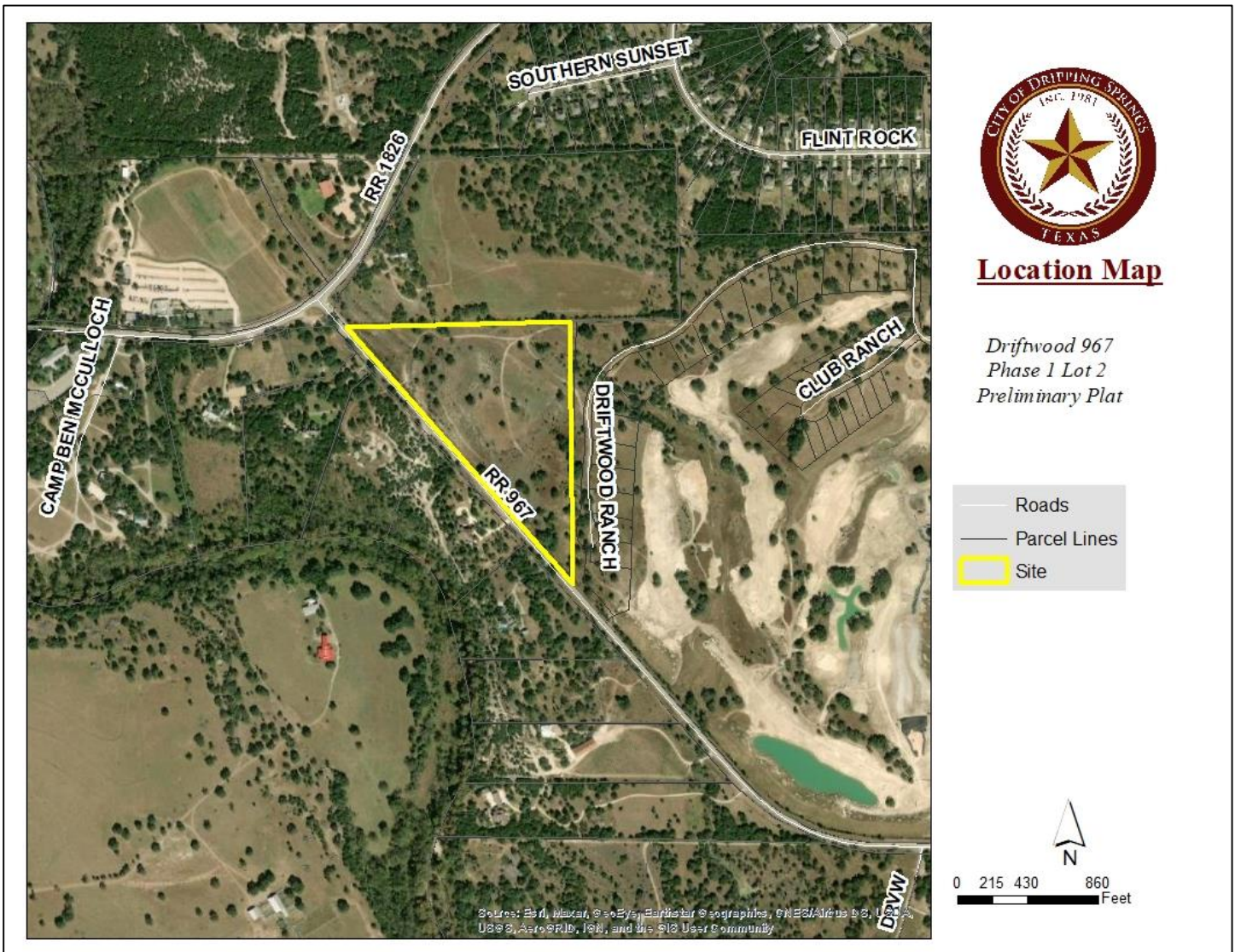
Planning and Zoning Commission Planning Department Staff Report

Item 3.

Planning and Zoning Commission Meeting: August 23, 2022
Project No: SUB2022-00037
Project Planner: Tory Carpenter, AICP - Senior Planner

Item Details

Project Name: Driftwood 967, Phase 1 Lot 2 Preliminary Replat
Property Location: FM 967 at FM 1826
Legal Description: 25.22 acres, out of the Freelove Woody Survey
Applicant: Chris Earthman, Driftwood 25-ACA LP
Property Owner: Driftwood 25-ACA LP
Staff recommendation: Denial of the Preliminary Plat based on outstanding comments



Planning Department Staff Report

Overview

This preliminary plat consists of five single-family lots and two commercial lots.

Access and Transportation

Primary access to the subdivision will be through FM 967.

Site Information

Location: FM 967 at FM 1826

Zoning Designation: ETJ / Driftwood Development Agreement

Property History

The Driftwood development agreement was approved in 2015.

Recommendation

Denial to address comments.

Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Preliminary Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Disapproval of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



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Texas

City of Dripping Springs

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SUBDIVISION APPLICATION

Case Number (staff use only): _____

MEETINGS REQUIRED
(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION DATE: _____	PRE-APPLICATION CONFERENCE DATE: <u>3/29/2022</u>
<input type="checkbox"/> NOT SCHEDULED	<input type="checkbox"/> NOT SCHEDULED

PLAT TYPE

Amending Plat

Minor Plat

Replat

Final Plat

Plat Vacation

Other: _____

CONTACT INFORMATION

APPLICANT NAME Chris Earthman

COMPANY Driftwood 25-ACA LP

STREET ADDRESS 100 Congress Ave., Suite 1600

CITY Austin **STATE** Texas **ZIP CODE** 78701

PHONE 512-485-1923 **EMAIL** chris@nxstep.com

OWNER NAME Driftwood 25-ACA LP

COMPANY _____

STREET ADDRESS 100 Congress Ave., Suite 1600

CITY Austin **STATE** Texas **ZIP CODE** 78701

PHONE 512-485-1923 **EMAIL** chris@nxstep.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	Driftwood 25-ACA LP
PROPERTY ADDRESS	FM 967 at FM 1826
CURRENT LEGAL DESCRIPTION	Lot 2, Driftwood 967 Phase One
TAX ID #	R166983
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	25.2238 acres
SCHOOL DISTRICT	Hays CISD
ESD DISTRICT(S)	Hays County ESD No. 6
ZONING/PDD/OVERLAY	N/A
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input checked="" type="checkbox"/> State Name: <u>FM 967</u> <input type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>Driftwood Golf Club</u>

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Re-subdivision of Lot 2, Driftwood 967 Phase One
TOTAL ACREAGE OF DEVELOPMENT	25.2238 acres
TOTAL NUMBER OF LOTS	11
AVERAGE SIZE OF LOTS	2.29 acres
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> INDUSTRIAL/OTHER: <u>Open Space, Private Street</u>
# OF LOTS PER USE	RESIDENTIAL: <u>5</u> COMMERCIAL: <u>2</u> INDUSTRIAL: <u>2 Open Space, 2 Prvt Street</u>
ACREAGE PER USE	RESIDENTIAL: <u>13.09</u> COMMERCIAL: <u>8.35</u> INDUSTRIAL: <u>1.57 Ac. Open Space</u> <u>2.22 Ac. Private Street Lots</u>
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: _____ PRIVATE: <u>1,470 LF</u>
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM City of Dripping Springs <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER City of Dripping Springs <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input type="checkbox"/> NO</p>	

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COMMENTS: _____

TITLE: _____ SIGNATURE: Chris M. Leedy

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): Pedernales Electric Cooperative

VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): Spectrum

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WATER PROVIDER NAME (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED NOT APPLICABLE

GAS PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO



APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Chris Earthman

Applicant Name Chris Earthman

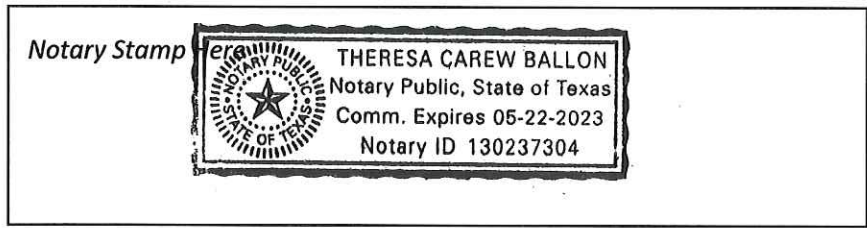
6/16/2022

Applicant Signature

Date

Notary THERESA CAREW BALLON
Theresa Carew Ballon

Date June 16th, 2022



Driftwood 25-ACA LP

by Driftwood 25-967, LLC - Its General Partner

Property Owner Name Chris Earthman

6/16/2022

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: 6/16/2022

FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST		
Subdivision Ordinance, Section 5		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)] (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Preliminary Plat (if applicable) In report appendix
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

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<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Parkland Dedication fee (if applicable) N/A
<input type="checkbox"/>	<input type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable) N/A
<input type="checkbox"/>	<input type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)]
<input type="checkbox"/>	<input type="checkbox"/>	Pre-Application Meeting Form signed by City Staff

FINAL PLAT INFORMATION REQUIREMENTS		
<input type="checkbox"/>	<input type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

<input type="checkbox"/>	<input type="checkbox"/>	<p>The location, widths and names of all street right-of-way and easements (it shall be the applicant’s responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes,

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

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		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:

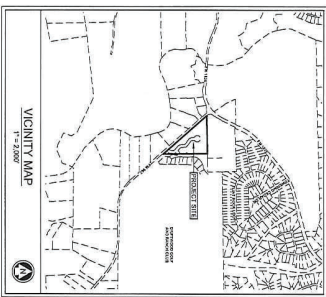
NARRATIVE OF COMPLIANCE	
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.	
Outdoor Lighting, Article 24.06	No street lights are proposed.
Parkland Dedication, Article 28.03	Not required, only 5 lots
Landscaping and Tree Preservation, Article 28.06	The commercial lots are located outside the city limits and therefor not within the City's zoning jurisdiction.

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<p>Subdivision, 28.02, Exhibit A The lots will be served by a private street and City water and wastewater constructed to the City's adopted standards. Water quality will comply with the City's Alternative Standards.</p>	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p>
<p>Zoning, Article 30.02, Exhibit A</p>	<p>N/A, outside the city limits.</p>

PRELIMINARY PLAT OF RE-SUBDIVISION OF LOT 2, DRIFTWOOD 967 PHASE ONE, FM 967 HAYS COUNTY, TEXAS SUBMITTAL DATE: JUNE 2022



SHEET NO. SHEET LIST TABLE

Table with 4 columns: NO., DATE, REVISION DESCRIPTION, BY.

1. COVER SHEET (THIS SHEET)
2. PROPERTY MAP (SEE SUPPLEMENTAL DATA MAP)
3. UTILITY MAP (SEE SUPPLEMENTAL DATA MAP)

- NOTES:
1. THE PROJECT IS LOCATED WITHIN THE COUNTY OF HAYS COUNTY, TEXAS.
2. THE PROJECT IS LOCATED WITHIN THE COUNTY OF HAYS COUNTY, TEXAS.
3. THE PROJECT IS LOCATED WITHIN THE COUNTY OF HAYS COUNTY, TEXAS.

THE SUBDIVISION IS LOCATED WITHIN THE COUNTY OF HAYS COUNTY, TEXAS. THE SUBDIVISION IS LOCATED WITHIN THE COUNTY OF HAYS COUNTY, TEXAS. THE SUBDIVISION IS LOCATED WITHIN THE COUNTY OF HAYS COUNTY, TEXAS.

LEGAL DESCRIPTION

LOT 2, BLOCK A OF THE EMBROIDERY PROJECT ONE TRACT IN DOCUMENT NUMBER 180893, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY.
ENGINEER: KICIVIL, INC.
REGISTERED PROFESSIONAL ENGINEER NO. 65971

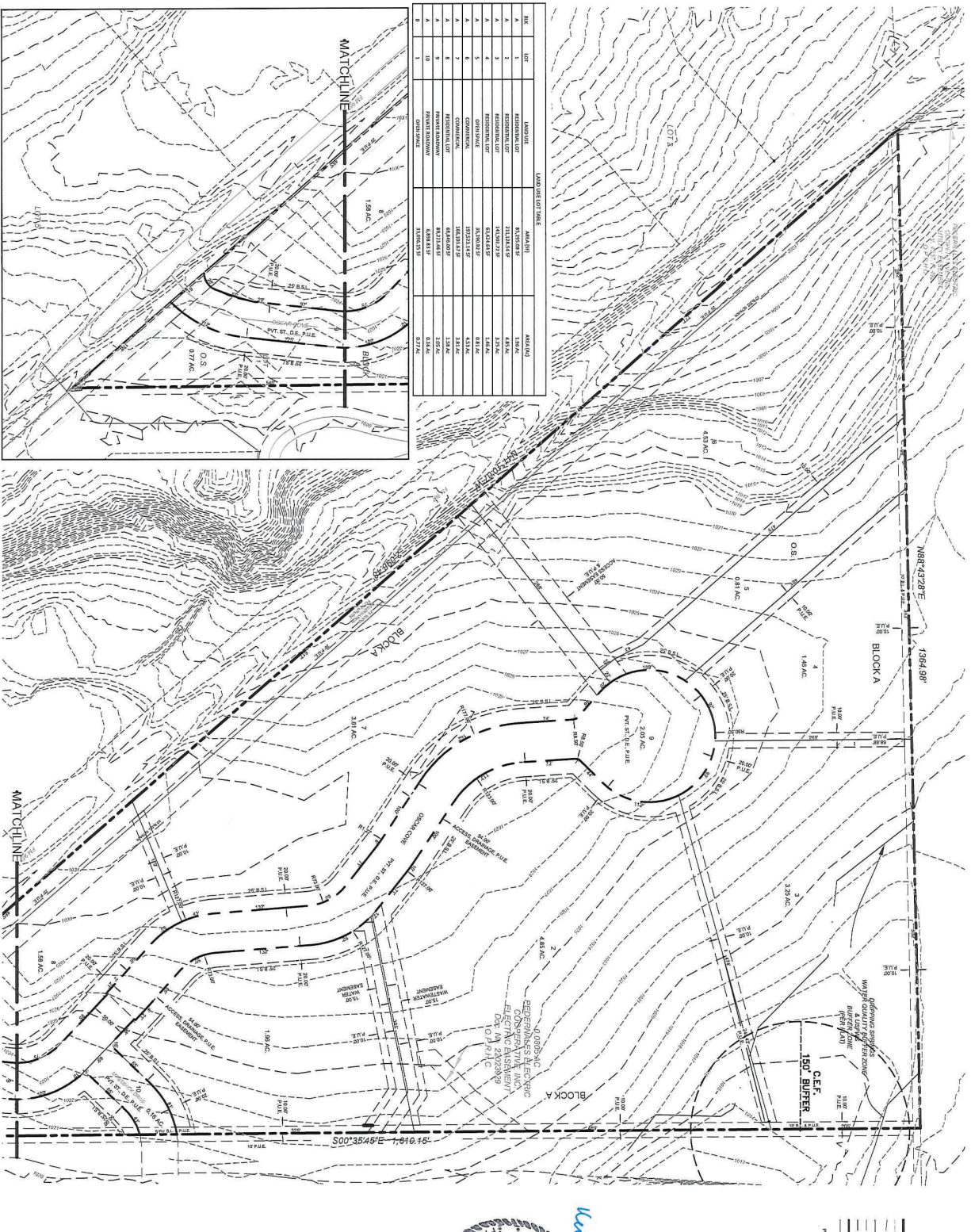
Table with 4 columns: LOT #, AREA (SQ. FT.), AREA (ACRES), % ADJACENT RESIDENTIAL LOT USE. Includes rows for LOT 1, LOT 2, LOT 3, LOT 4, and TOTAL.

ENGINEER'S CERTIFICATE:
THIS IS TO CERTIFY THAT I AM QUALIFIED TO PREPARE THE PROFESSIONAL ENGINEERING IN THE REGION WHEREIN I AM REGISTERED AND TO CONDUCT THE BUSINESS OF ENGINEERING IN THE STATE OF TEXAS.
KENNETH W. MARTIN



6605 N. CAPITAL OF TEXAS HIGHWAY 1 | SUITE 215 AUSTIN, TEXAS 78731 | TEL: (512) 758-7474

Plot Sheet for 6/18/2016
Last Saved: 6/18/2016 10:51:41 AM
The user is: KICIVIL\KICIVIL
Drawing: C:\Projects\25-ACA_1\PROJECTS\25-ACA_1\PROJECTS\25-ACA_1.dwg



STATE OF TEXAS
 PROFESSIONAL ENGINEER
 KENNETH W. MARTIN
 65971
 REGISTERED
 6-28-2022



LEGEND

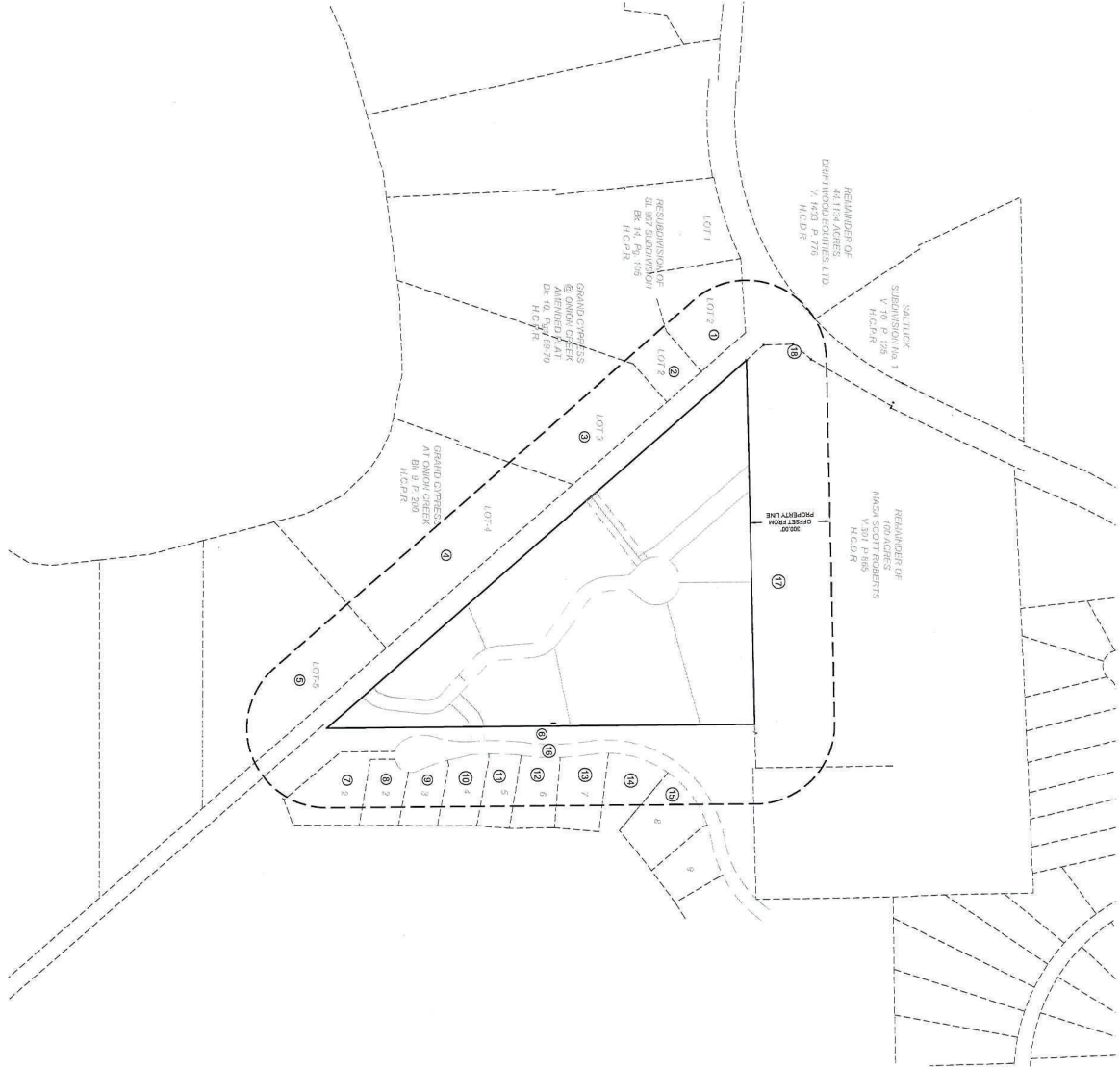
- SOLID LINE: PROPERTY BOUNDARY
- DASHED LINE: EXISTING COMMON
- DOTTED LINE: EXISTING PRIVATE WAY
- DASHED LINE WITH DOTS: EXISTING ACCESS STATEMENT
- SOLID LINE WITH DOTS: RIGHT OF WAY
- DOTTED LINE WITH DOTS: PRIVATE STREET FRONTAGE EXISTING AND PROPOSED
- DOTTED LINE WITH DOTS: PRIVATE STREET FRONTAGE EXISTING AND PROPOSED
- DOTTED LINE WITH DOTS: PRIVATE STREET FRONTAGE EXISTING AND PROPOSED
- DOTTED LINE WITH DOTS: PRIVATE STREET FRONTAGE EXISTING AND PROPOSED
- DOTTED LINE WITH DOTS: PRIVATE STREET FRONTAGE EXISTING AND PROPOSED

SCALE: 1"=80'

DATE: _____ BY: _____

REVISION/DESCRIPTION

Lot Based by Type
 Lot Area: 41,107.01 sq. ft.
 No. of Lots: 19
 Total Area: 1,187,111.86 sq. ft.
 Date: 11/11/2014 10:42:11 AM
 Project: 25-ACA-1P-000001 - Project/Sheet/25-ACA-1P-000001.dwg/25-ACA-1P-000001.dwg



ID	PROPERTY OWNER	ADDRESS	REF. TO
1	ADAM BARKER FIELD & ASSOCIATES, LLC	1402 S.W. 40TH ST. STE 200 AUSTIN, TX 78741-4021	1402
2	WALTON CONCRETE SERVICES, INC.	1911 FISH BAY DR. DRIFTWOOD, TX 78719-4025	1402
3	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
4	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
5	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
6	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
7	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
8	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
9	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
10	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
11	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
12	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
13	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
14	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
15	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
16	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
17	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
18	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402
19	WATSON CONTRACTORS	2011 BUCKLE HILL DR. DRIFTWOOD, TEXAS 78719	1402



NO.	DATE	REVISION/DESCRIPTION	BY

SHEET 3 OF 5 OWNER	OWNER MAP	RE-SUBDIVISION OF LOT 2, DRIFTWOOD 967 PHASE ONE DRIFTWOOD, HAYS COUNTY, TEXAS	DRIFTWOOD 25-ACA, LP	<p>6805 N. CAPITAL OF TEXAS HIGHWAY SUITE 318 AUSTIN, TEXAS 78731 TEL. (512) 758-7474 TYPIC FIRM NO. F-8182</p>
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Lot 2 of 2
 Subdivision of Lot 2, Driftwood 967 Phase One
 Driftwood 25-ACA, LP
 Hays County, Texas
 Project: Driftwood 25-ACA, LP
 Date: 10/20/2023 11:18 AM
 Project: Driftwood 25-ACA, LP
 Author: GSD/Donna/John/Alan
 Checker: CK/MS/PROF/Don



EXISTING DRAINAGE AREA	AREA (AC)	PERCENT	PERCENT	EXISTING LINE OF CONCENTRATION CALCULATIONS		PROPOSED LINE OF CONCENTRATION CALCULATIONS	
				PERCENT	PERCENT	PERCENT	PERCENT
EXISTING AREA	2.01	100.00	100.00	100.00	100.00	100.00	100.00
PROPOSED AREA	2.01	100.00	100.00	100.00	100.00	100.00	100.00

EXISTING DRAINAGE AREA	AREA (AC)	PERCENT	PERCENT	EXISTING LINE OF CONCENTRATION CALCULATIONS		PROPOSED LINE OF CONCENTRATION CALCULATIONS	
				PERCENT	PERCENT	PERCENT	PERCENT
EXISTING AREA	2.01	100.00	100.00	100.00	100.00	100.00	100.00
PROPOSED AREA	2.01	100.00	100.00	100.00	100.00	100.00	100.00

PLAN LEGEND

SCALE: 1" = 200'

EXISTING DRAINAGE AREAS
 PROPOSED DRAINAGE AREAS
 EXISTING LINE OF CONCENTRATION
 PROPOSED LINE OF CONCENTRATION
 EXISTING DRAINAGE AREA
 PROPOSED DRAINAGE AREA
 DIRECTION OF FLOW

DRIFTWOOD 25-ACA, LP

KICIVIL

6805 N. CAPITAL OF TEXAS HIGHWAY | SUITE 315
 AUSTIN, TEXAS 78731 | TEL: (512) 756-7474
 10800 FISHBAND, F-1812

NO.	DATE	REVISION/DESCRIPTION

SHEET 4 OF 5
 EXISTING AND PROPOSED DRAINAGE AREA MAP

RE-SUBDIVISION OF LOT 2, DRIFTWOOD 967 PHASE ONE
 DRIFTWOOD, HAYS COUNTY, TEXAS

DRIFTWOOD 25-ACA, LP

KICIVIL

6805 N. CAPITAL OF TEXAS HIGHWAY | SUITE 315
 AUSTIN, TEXAS 78731 | TEL: (512) 756-7474
 10800 FISHBAND, F-1812

Lot based by Twp
 Lot based by Twp
 The Project No. is 15-222
 Drawing No. is 15-222-01



NO.	DATE	REVISION DESCRIPTION	BY

SHEET 5 OF 5 <small>CADSW</small>	UTILITY LAYOUT	RE-SUBDIVISION OF LOT 2, DRIFTWOOD 967 PHASE ONE DRIFTWOOD, HAYS COUNTY, TEXAS	DRIFTWOOD 25-ACA, LP	<p>KICIVIL 6805 N. CAPITAL OF TEXAS HIGHWAY SUITE 315 AUSTIN, TEXAS 78731 TEL: (512) 798-7474 TYPE: FIRM NO. P-61229</p>
---	----------------	---	----------------------	--



Date: August 19, 2022

Ken Martin
KTCivil
ken.martin@ktcivil.com

Permit Number: SUB2022-0037
Project Name: Re-subdivision of Lot 2, Driftwood 967 Phase One FP
Project Address: FM 967 at FM 1826, Buda, TX 78610

City Planner Comments

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email tcarpenter@cityofdrippingsprings.com.

1. Note the boundaries of the ETJ on the Vicinity Map [4.7.a]
2. Show recording information on the lot to the east of the subject property [4.7.c]
3. The unplatted lots to the north and northwest, please show the names of the owners on record and the recording information (Deed) [4.7.c]
4. Label FM 967 on the plat and show ROW width [4.7.d]
5. Show the ROW width for Oscar Cove and Missback Drive [4.7.d]
6. Update the title on each page to reflect that this is a preliminary plat. [4.7.g]
7. On the cover sheet, provide an approval signature of the chair of the planning and zoning commission, a place for the city secretary to attest such signature, and the approval dates by the planning and zoning commission [4.7.r]

Engineer/Public Works Comments

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email cgilpin@cityofdrippingsprings.com.

8. Provide documentation showing approval of TxDOT driveway locations. [Plat Application Checklist]
9. Show and label the local 100-yr floodplain in the northeast corner of the tract.. [Plat Information Requirements]
10. Provide drainage easement to contain the 100-yr storm [Sub. Ord. 12.2.2].

11. Label widths of all WQBZs [WQO 22.05.017].
12. Provide a Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction. [Preliminary Plat Information Requirements].
13. Show dimension for cul-de-sac pavement and right-of-way radii.

Fire Marshal Comments

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email dpolk@northhaysfire.com.

14. Fire Approves



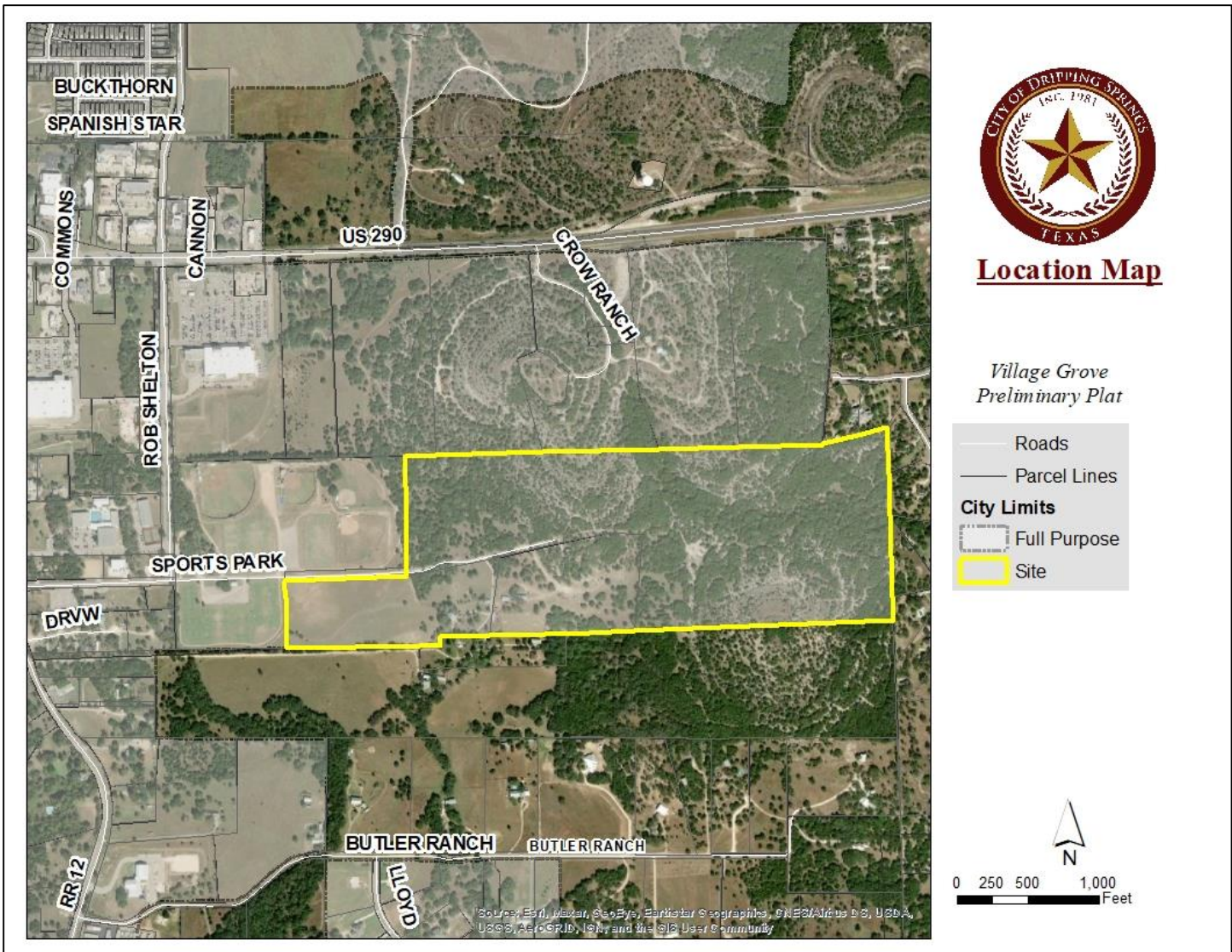
Planning and Zoning Commission Planning Department Staff Report

Item 4.

Planning and Zoning Commission Meeting: August 23, 2022
Project No: SUB2022-00039
Project Planner: Tory Carpenter, AICP - Senior Planner

Item Details

Project Name: Village Grove Preliminary Plat
Property Location: Sports Park Road and Rob Shelton Blvd
Legal Description: 112.4 acres out of the CH Malott and Philip A Smith surveys
Applicant: Ryan Perry, Doucet Engineering
Property Owner: Matthew Scrivener, Dripping Springs Partners, LLC
Staff recommendation: Denial of the Preliminary Plat based on outstanding comments



Planning Department Staff Report

Overview

This preliminary plat consists of 180 single-family detached lots, 331 townhome units, and one mixed use lot.

Access and Transportation

Primary access to the subdivision will be through Ranch Road 12 and US 290. The developer will extend a road along the south side of the property to access Ranch Road 12.

Site Information

Location: Sports Park Road and Rob Shelton Boulevard

Zoning Designation: Village Grove Planned Development District

Property History

The Village Grove Planned Development District was approved by City Council on June 21, 2022.

Recommendation

Denial to address comments.

Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Preliminary Plat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Disapproval of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



DRIPPING SPRINGS
Texas

Item 4.

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

PRELIMINARY PLAT APPLICATION

Case Number (staff use only): _____ - _____

MEETINGS REQUIRED

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION

PRE-APPLICATION CONFERENCE

DATE: _____

DATE: 6/23/22

NOT SCHEDULED

NOT SCHEDULED

CONTACT INFORMATION

APPLICANT NAME Ryan Perry, P.E., CPESC

COMPANY Doucet

STREET ADDRESS 7401B Hwy. 71 W., Ste. 160

CITY Austin STATE TX ZIP CODE 78735

PHONE 512-583-7633 EMAIL rperry@doucetengineers.com

OWNER NAME Matthew Scrivener

COMPANY Dripping Springs Partners, LLC

STREET ADDRESS 7401B Hwy. 71 W., Ste. 160

CITY Austin STATE TX ZIP CODE 78735

PHONE 615-405-0225 EMAIL matthew@atxli.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	Dripping Springs Partners, LLC & 740 Sports Park, LLC
PROPERTY ADDRESS	Sports Park Rd., Dripping Springs, TX 78620
CURRENT LEGAL DESCRIPTION	112.4 acre tract out of the C.H. Malott Survey, Abstract #693 and the Philip A. Smith Survey, Abstract #415, Hays County, Texas, comprised of 4 tracts: 80.31 ac, 5 ac & 10 ac tracts: Dripping Springs Partners, LLC and a 17.038 ac tract: 740 Sports Park, LLC
TAX ID #	R17835, R19955, R159603, R17837, R18076
LOCATED IN	<input checked="" type="checkbox"/> City Limits <input type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	112.4 acres
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	1 and 6
ZONING/PDD/OVERLAY	PDD 14
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input checked="" type="checkbox"/> City/County (public) Name: <u>Sports Park Rd.</u>
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>Village Grove</u>

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Village Grove
TOTAL ACREAGE OF DEVELOPMENT	112.40 acres
TOTAL NUMBER OF LOTS	207 lots (511 units)
AVERAGE SIZE OF LOTS	6,000 SF (Single Family Lot), 1.50 acres (Townhome Lot)
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>511</u> units COMMERCIAL: <u>1</u> INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>105.58</u> COMMERCIAL: <u>6.82</u> INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>20,530</u> LF PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p>	

COMMENTS: _____

TITLE: Sr. Proj. Manager SIGNATURE: 

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): Pedernales Electric Cooperative
 VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): _____
 VERIFICATION LETTER ATTACHED NOT APPLICABLE

WATER PROVIDER NAME (if applicable): Dripping Springs Water Supply Corporation
 VERIFICATION LETTER ATTACHED NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): City of Dripping Springs
 VERIFICATION LETTER ATTACHED NOT APPLICABLE

GAS PROVIDER NAME (if applicable): Texas Gas Service
 VERIFICATION LETTER ATTACHED NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO

APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Ryan Perry

Applicant Name

Ryan Perry

7/13/2022

Applicant Signature

Meranda S. Perkins

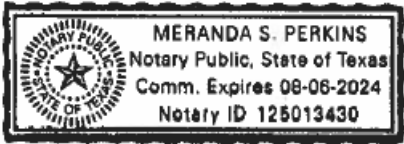
Date

7/13/2022

Notary

Date

Notary Stamp Here



See attached Agent Authorization Letters

Property Owner Name

Property Owner Signature

Date

June 29, 2022

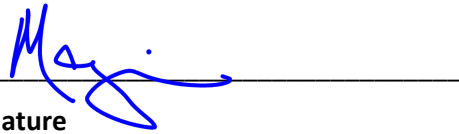
Authority Having Jurisdiction (AHJ)

RE: Agent Authorization for Village Grove

Dear sir or madam:

Doucet & Associates, Inc. is authorized to act as Agents for Dripping Springs Partners, LLC, owner of the tracts locally identified as Hays County Parcel ID R159603, R17835, and R17837, which equal approximately 95.4 acres out of the Philip A Smith Survey, Abstract No. 415 in Hays County, Texas, as referenced in the Official Public Records of Hays County, Texas with regard to coordinating, submitting and processing the subdivision (platting and construction documents, water quality, public improvements (on and offsite), driveway permits and all other applications as necessary to complete the subdivision approval process with the various Authorities Having Jurisdiction. This letter does not give Doucet & Associates, Inc. the authority to sign documents on behalf of the owner that may create entitlement on the property.

If you should have any questions, please contact me.



Signature

Name and Title: Matthew Scrivener, Manager

Dripping Springs Partners, LLC
7401B Highway 71 West
Suite 160
Austin, TX 78735
(615) 405.0225
matthew@atxLi.com

June 29, 2022

Authority Having Jurisdiction (AHJ)

RE: Agent Authorization for Village Grove

Dear sir or madam:

Doucet & Associates, Inc. is authorized to act as Agents for 740 Sports Park, LLC, owner of the tract locally identified as Hays County Parcel ID R18076, which equal approximately 17 acres out of the Philip A Smith Survey, Abstract No. 415 in Hays County, Texas, as referenced in the Warranty Deed recorded in Document No. 21001644 of the Official Public Records of Hays County, Texas with regard to coordinating, submitting and processing the subdivision (platting and construction documents, water quality, public improvements (on and offsite), driveway permits and all other applications as necessary to complete the subdivision approval process with the various Authorities Having Jurisdiction. This letter does not give Doucet & Associates, Inc. the authority to sign documents on behalf of the owner that may create entitlement on the property.

If you should have any questions, please contact me.



Signature

Name and Title: David Denbow, Manager

740 Sports Park, LLC
837 Bell Springs Road
Dripping Springs, Texas 78620
512.264.2767
david@denbowcompany.com

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: 7/13/2022

For projects within the ETJ, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

PRELIMINARY PLAT CHECKLIST		
Subdivision Ordinance, Section 4		
STAFF	APPLICANT	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input type="checkbox"/> N/A	County Application Submittal – proof of online submission (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (<i>if within City or Development Agreement</i>) or Proof of Submittal to Hays County Fire Marshal (<i>if in the ETJ</i>)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contract Form
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Drainage Study
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Plats (3 copies required – 11 x 17)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Utility Service Provider “Will Serve” Letters
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County,)

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

512.858.4725 • wcityofdrippingsprings.com

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing Hays County 911 addressing approval (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Parkland Dedication Submittal (narrative, fees)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	ITE Trip Generation Report, or if required; a Traffic Impact Analysis
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)]
<input type="checkbox"/>	<input type="checkbox"/> N/A	OSSF Facility Planning Report or approved OSSF permit (<i>if applicable</i>)
<input type="checkbox"/>	<input type="checkbox"/> N/A	Hays Trinity Groundwater Conservation District approval of water well (<i>if applicable</i>)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Conference Form signed by City Staff
PRELIMINARY PLAT INFORMATION REQUIREMENTS		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with

		the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All physical features of the property to be subdivided shall be shown, including: <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency

		<p>(FEMA) information; and</p> <ul style="list-style-type: none"> - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and - Ravines; and - Bridges; and - Culverts; and - Existing structures; and - Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and - Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Schematic Engineering plans of water and sewer lines and other infrastructure</p>

		(including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor’s certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair’s absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If any amount of surface water is to be used by the subject property, the

		<p>Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant’s plans for the project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).</p>
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NARRATIVE OF COMPLIANCE

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

<p>Outdoor Lighting, Article 24.06</p>	<p>Per Section 2.9 of the PDD No. 14, all illumination for street lighting, signage, security, exterior, landscaping and decorative facilities for the project shall comply with Article 24.06 of the City's Code of Ordinances ("Outdoor Lighting Ordinance". Owner, homeowners, end users and/or a Property Owner Association will be required to operate and maintain the lighting within the project according to applicable rules. Owner agrees that the CCRs for the project shall reinforce this provision and be applied to all construction and builders.</p>
<p>Parkland Dedication, Article 28.03</p>	<p>Per Section 2.4.10 of the PDD No. 14, the project is required to have 22.22 acres of Parkland. The project will include approximately 30.91 net acres that will be dedicated for Parkland, the area being shown more fully on the enclosed Parkland Dedication Submittal. This dedication shall fulfill all parkland dedication requirements of the project to the City, including but not limited to the requirements of the Parkland Dedication Ordinance.</p>
<p>Landscaping and Tree Preservation, Article 28.06</p>	<p>Detailed Landscaping and Tree Preservation requirements are described in Section 2.12 of the PDD No. 14, a copy of which is included with this submittal.</p>

Subdivision, 28.02, Exhibit A	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>Subdivision will be permitted in phases per PDD No. 14, see Exhibit H. Owner agrees to comply with the City's Water Quality Protection Ordinance, except as modified by the PDD or by specific variance. Water Quality Buffer Zones are shown as required per PDD Exhibit G. See Exhibit E of PDD No. 14 for specific approved Code Modifications.</p>
Zoning, Article 30.02, Exhibit A	<p>This project is subject to approved PDD No. 14, Ordinance No. 2022-19, attached. The base zoning district for the townhome portion of the property is SF-5, the single family lots portion of the property is SF-3 and the commercial and civic center portion of the property is LR, Local Retail.</p>



VILLAGE GROVE SINGLE & MULTIFAMILY DEVELOPMENT

PRELIMINARY PLAT OVERALL



SHEET 1 PROJECT NO.

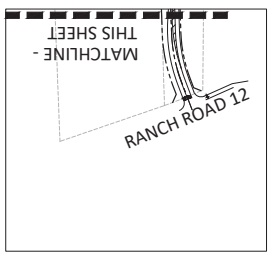
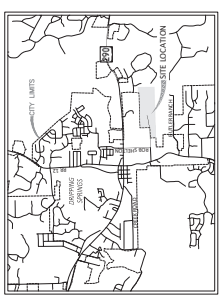


NOTES: 1. PROPOSED ROADWAYS SHALL BE CONFORMANT TO THE ROADWAY SPECIFICATIONS IN THE APPROVED LOCAL AND/OR STATE ROADWAY AGREEMENT...

Table with columns: SET DATA TABLE, TOTAL SITE AREA (51 UNITS), TOTAL RESIDENTIAL LOTS (50), etc.

PARKLAND DEDICATION SUMMARY table with columns: DESCRIPTION, LOT #, AREA (A.C.), PHASE ONE.

PUBLIC ROADWAY TABLE with columns: STREET NAME, R.O.W., PAVEMENT, C&G, LENGTH, SIDEWALK.



VILLAGE GROVE SUBDIVISION HAYS COUNTY, TEXAS WITHIN CITY OF DRIPPING SPRINGS

LEGAL DESCRIPTION: BEING A 113.4 AC. TRACT OUT OF THE CH. WALDIT SURVEY ABSTRACT NUMBER 693 AND THE PHASE 2 SAITH SURVEY ABSTRACT NO. 145, HAYS COUNTY, TEXAS...

CONTRACTOR: RYAN PERRY, P.E. - MECHANICAL ENGINEER; ENGINEER: DOUGLAS ASSOCIATES; LAND SURVEY: RYAN PERRY, P.E. - SURVEYOR; UTILITY PROVIDERS: WATER - DRIPPING SPRINGS WATER SUPPLY CORPORATION; GAS - TEXAS GAS.

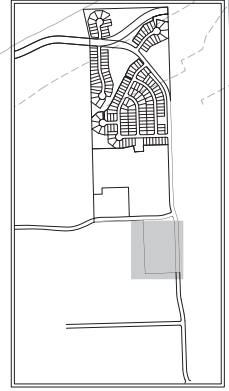
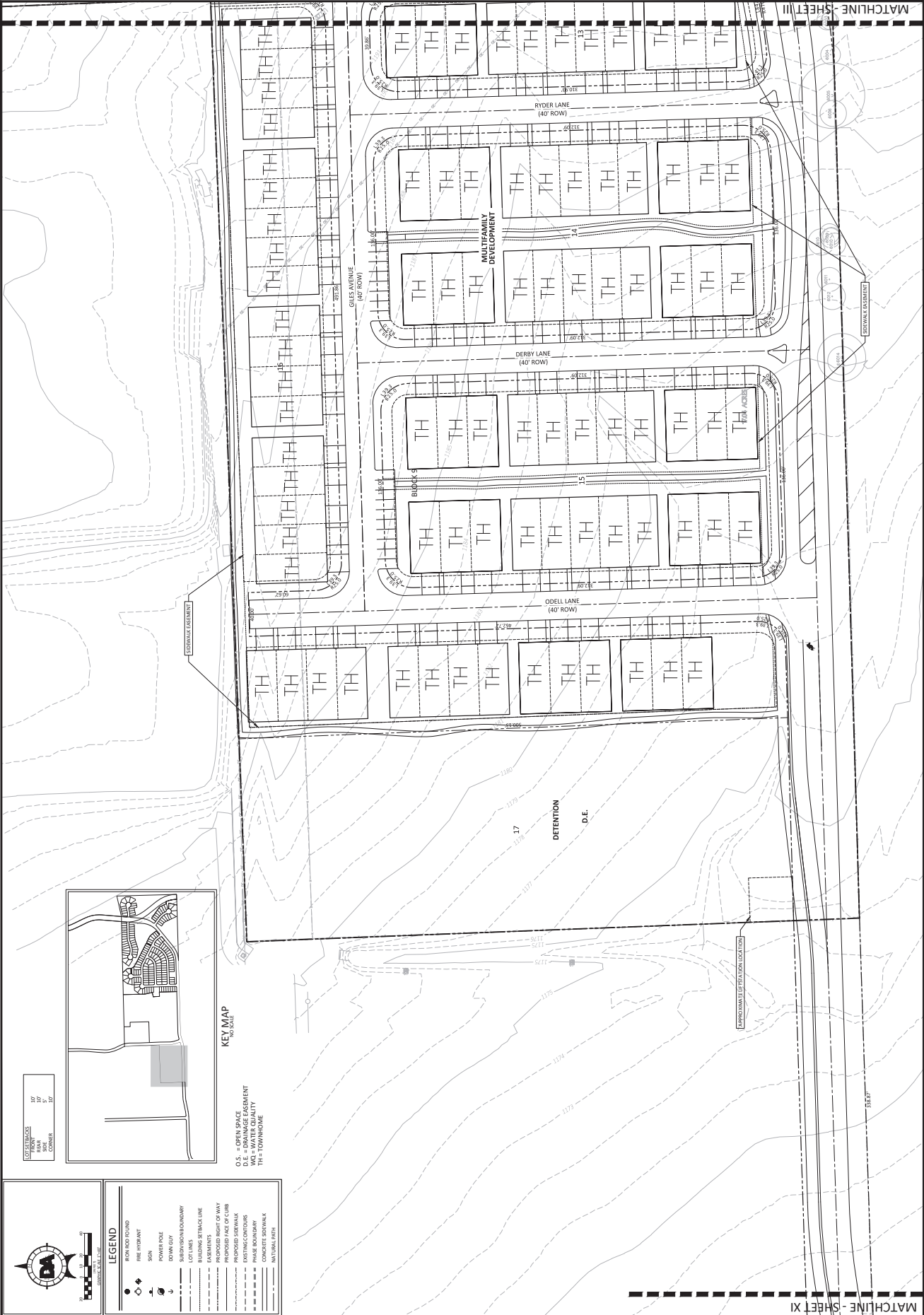
LEGEND table defining symbols for PROPOSED POND, EXISTING POND, LOT LINES, SUBDIVISION BOUNDARY, etc.



VILLAGE GROVE SINGLE & MULTIFAMILY DEVELOPMENT

PRELIMINARY PLAT SHEET I

DOUCET
 CMA Engineering // Entitlements // Geospatial
 2401 B. Highway 21 W. 5th. 140
 Austin, TX 78735. Tel: (512) 883-2400
 www.douceteng.com
 17875 Form Number: 2832
 17875 Form Number: 1010800



LOT 1	37
LOT 2	37
LOT 3	37
LOT 4	37
LOT 5	37
LOT 6	37
LOT 7	37
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KEY MAP
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LEGEND

IRON ROD FOUND	---
FIRE HYDRANT	---
SEWER	---
POWER POLE	---
DOWN GUY	---
SUBDIVISION BOUNDARY	---
BUILDING SETBACK LINE	---
FASBANTS	---
PROPOSED RIGHT OF WAY	---
PROPOSED FACE OF CURB	---
EXISTING CONTOUR	---
PHASE BOUNDARY	---
CONCRETE SIDEWALK	---
NATURAL PATH	---

MATCHLINE - SHEET XI



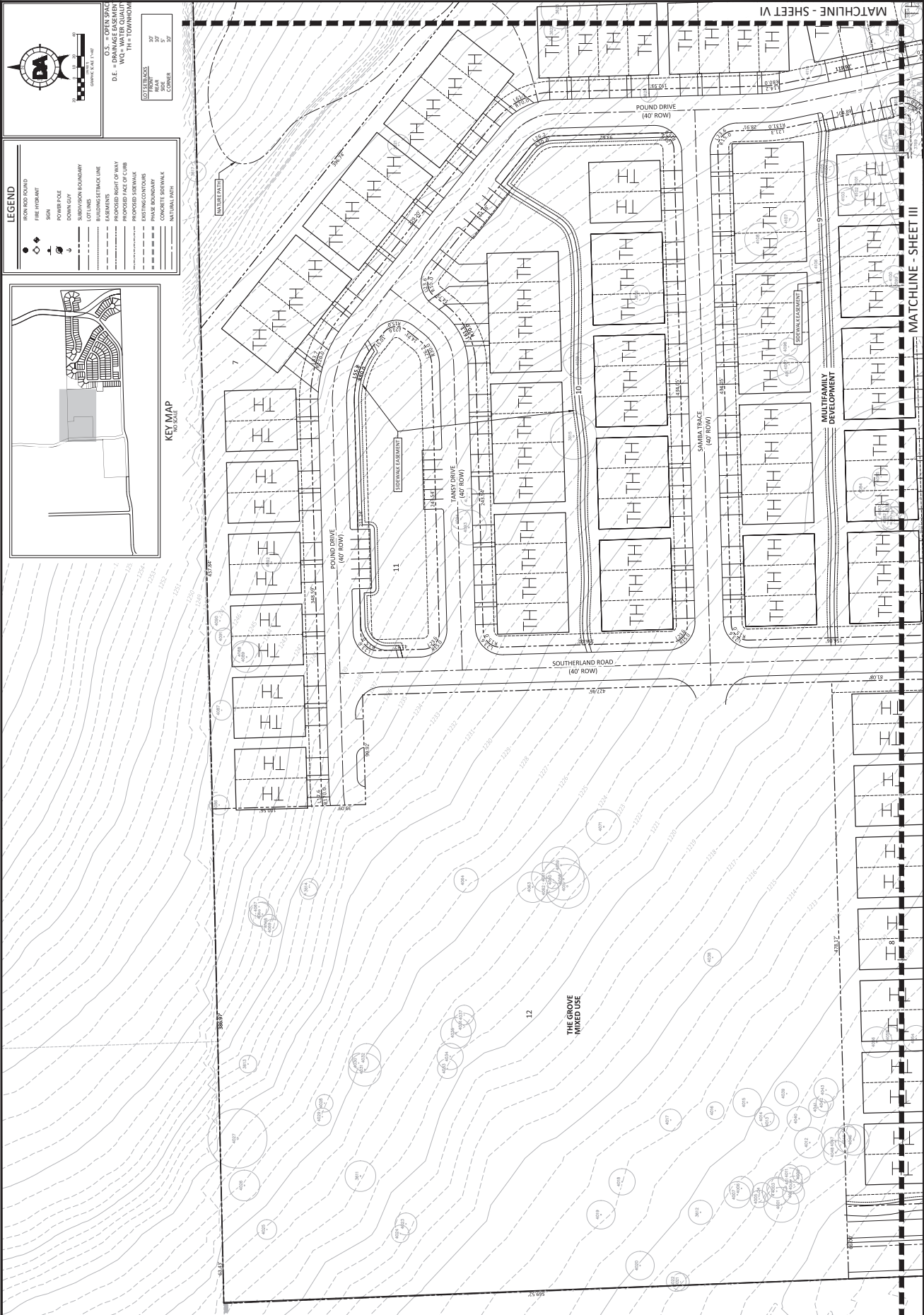
VILLAGE GROVE SINGLE & MULTIFAMILY DEVELOPMENT DRIPPING SPRINGS, TX

PRELIMINARY PLAT SHEET II

DOUCET Engineering // Entitlements // Geospatial

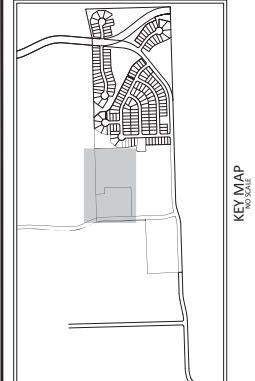
200 E. Highway 271 W. 5th. 140 Austin, TX 78758. Tel: (512) 883-2400
www.doucetengr.com

178753 Firm Number: 2832
178753 Firm Number: 10185800



LEGEND

- IRON ROD FOUND
- FIRE HYDRANT
- SON
- POWER POLE
- DOWN CUY
- SUBDIVISION BOUNDARY
- ADJACENT BOUNDARY
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING UTILITY
- EXISTING CONTOUR
- PHASE BOUNDARY
- CONCRETE SIDEWALK
- NATURAL BERTH

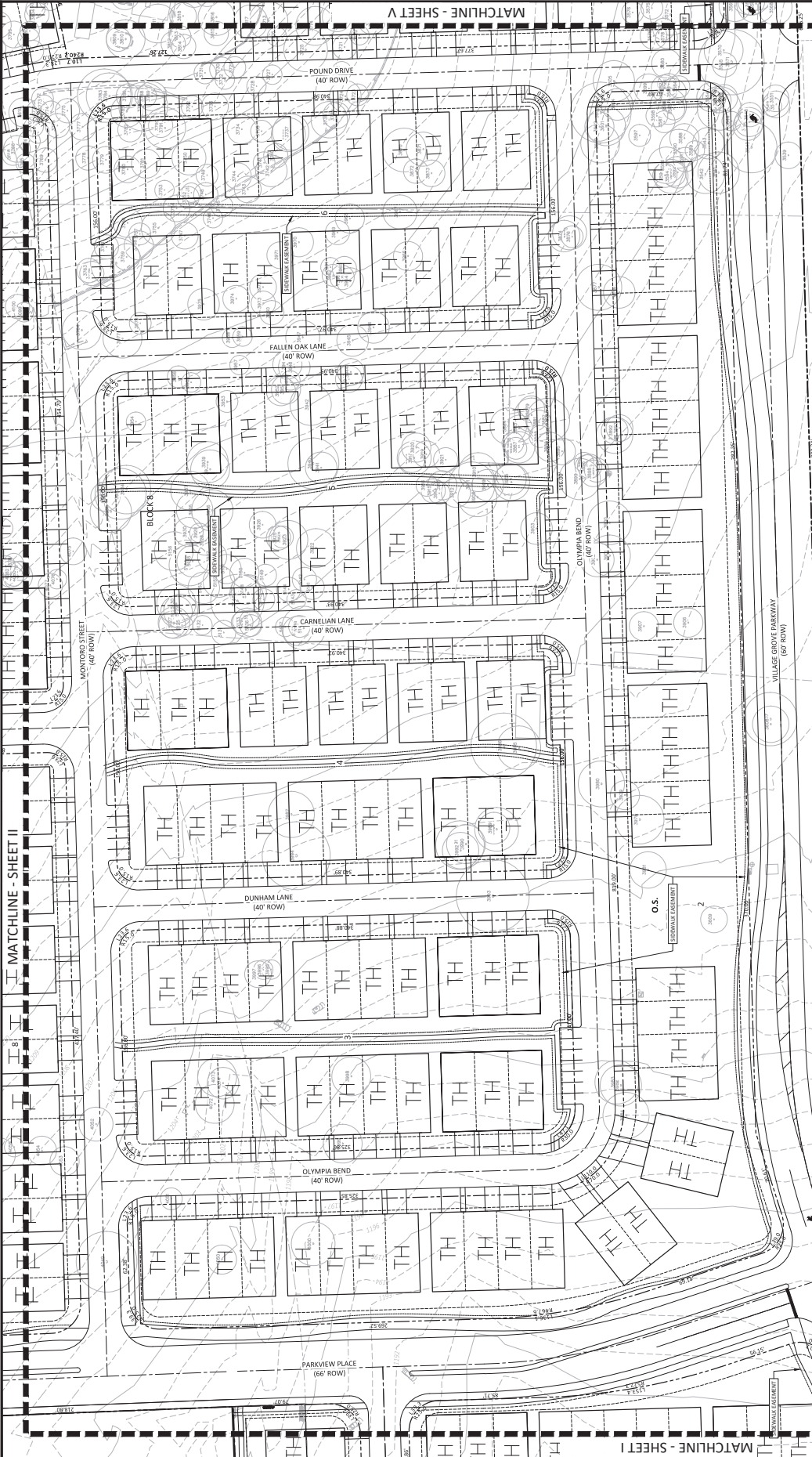


DA

0.5" = OPEN SPACE
D.E. = DRAINAGE EASEMENT
V.S. = VERTICAL SURFACE
V.H. = TOWNHOMES

10' 20' 30' 40' 50'

GRAPHIC SCALE 1" = 50'



LEGEND

- IRON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN CUFF
- PROPERTY BOUNDARY
- EXISTING LOT BOUNDARY
- BUILDING SETBACK LINE
- FABRICANTS
- PROPOSED RIGHT OF WAY
- PROPOSED SIDEWALK
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- EXISTING DRIVEWAY
- CONCRETE DRIVEWAY
- NATURAL TOP

KEY MAP
 1/2" = 1' SCALE

DEVELOPER
 EUGENE R. FOSTE
 BRENDAN L. F.
 CALLED 5.00
 DOC. NO. 20
 O.P.R.H.C.

LEGEND

- IRON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN CUFF
- PROPERTY BOUNDARY
- EXISTING LOT BOUNDARY
- BUILDING SETBACK LINE
- FABRICANTS
- PROPOSED RIGHT OF WAY
- PROPOSED SIDEWALK
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- CONCRETE DRIVEWAY
- NATURAL TOP

KEY MAP
 1/2" = 1' SCALE

LEGEND

- IRON ROD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN CUFF
- PROPERTY BOUNDARY
- EXISTING LOT BOUNDARY
- BUILDING SETBACK LINE
- FABRICANTS
- PROPOSED RIGHT OF WAY
- PROPOSED SIDEWALK
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- CONCRETE DRIVEWAY
- NATURAL TOP



 PROJECT NO. 11412022

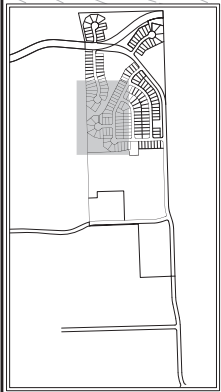
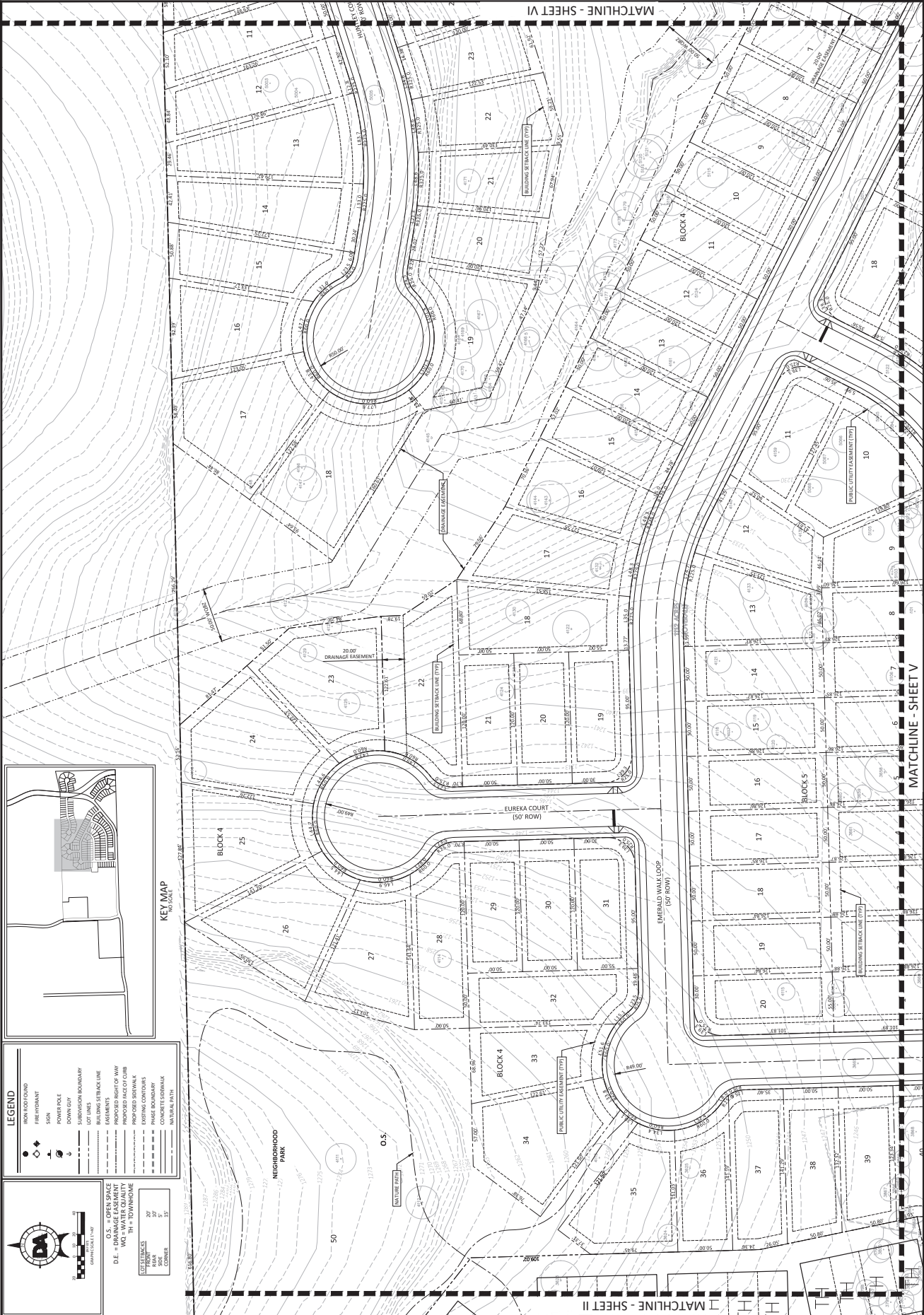
DATE	08/20/2018
DESIGNED BY	AS
CHECKED BY	AS
DATE	08/20/2018
DATE	08/20/2018
DATE	08/20/2018

VILLAGE GROVE
 SINGLE & MULTIFAMILY DEVELOPMENT
 DRIPPING SPRINGS, TX

PRELIMINARY PLAT
 SHEET IV

CIVIL ENGINEERING // EMBLEMENTS // GEOSPATIAL
DOUCET

2001 B. HIGHWAY 21 W. RM. 140
 AUSTIN, TX 78735 TEL: (512) 883-2400
 WWW.DOUCETENGINEERS.COM
 17875 Firm Number: 2833
 178753 Firm Number: 10105800



LEGEND

- IRON NOD FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWNHILL
- UPHILL
- SUBMISSION BOUNDARY
- CONCRETE DRIVEWAY
- CONCRETE SIDEWALK
- NATURAL BATH

LEGEND

- O.S. = OPEN SPACE
- D.E. = DRAINAGE EASEMENT
- W.C. = WALKWAY
- T.H. = TOWNHOME

CONTOUR

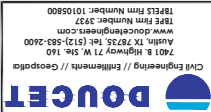
- 10'
- 20'
- 30'
- 40'
- 50'

Drawing: c:\pwworking\emblemments\105515737\2018 PRELIM.DWG
 Date Modified: 08/22/2018 11:30
 Plot Date/Time: 08/22/2018 11:30



VILLAGE GROVE
SINGLE & MULTIFAMILY DEVELOPMENT

PRELIMINARY PLAT
SHEET V



LEGEND

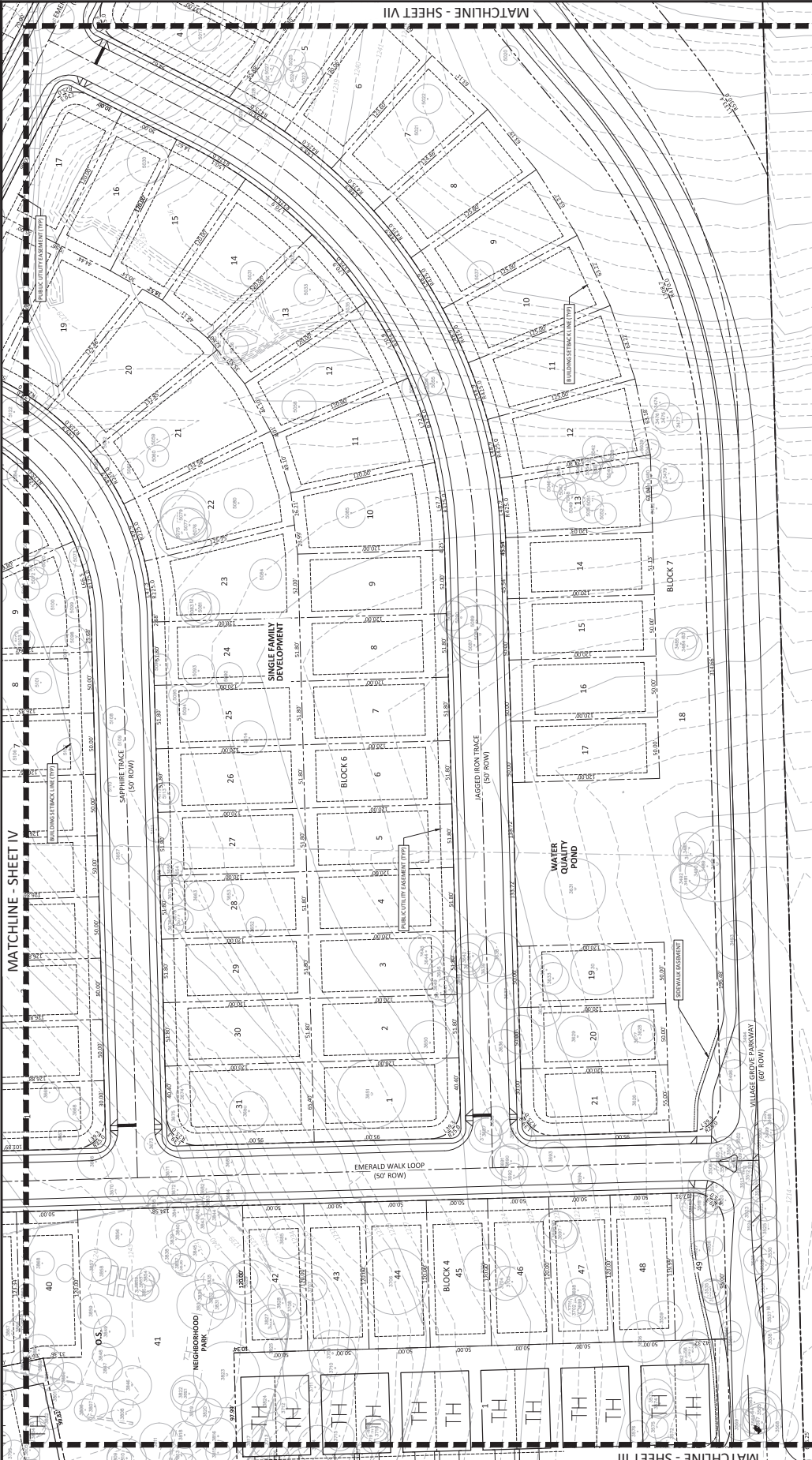
- SURVEY BOUNDARY
- - - - - PRELIMINARY
- - - - - PROPOSED
- - - - - DOWN GUT
- - - - - SUBDIVISION BOUNDARY
- - - - - BUILDING SETBACK LINE
- - - - - FURNISHING SETBACK LINE
- - - - - PROPOSED FACE OF CURB
- - - - - PROPOSED SIDEWALK
- - - - - EXISTING CONTOURS
- - - - - PHASE BOUNDARY
- - - - - CONCRETE SIDEWALK
- - - - - MULTIFAMILY

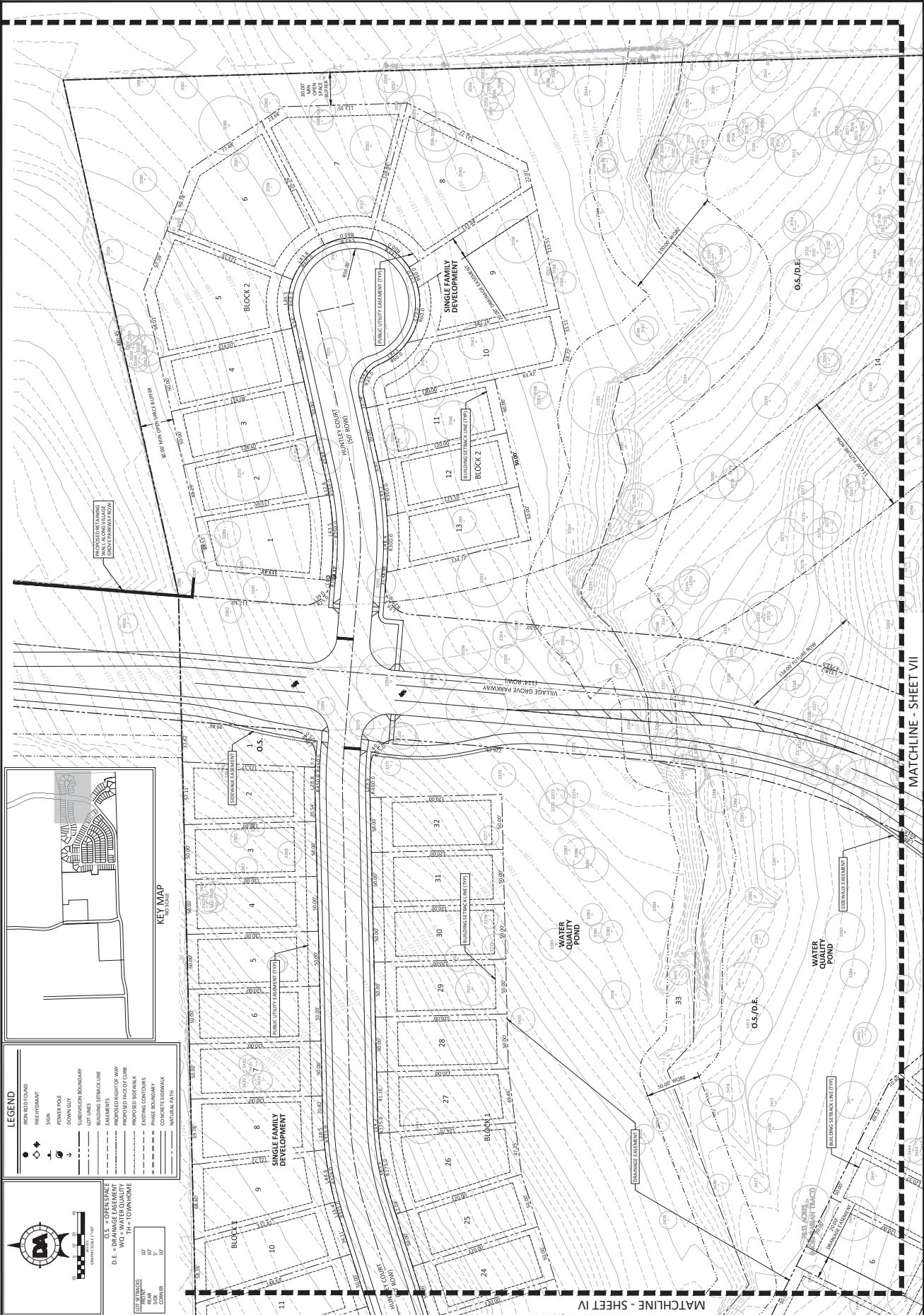
KEY MAP
NO SCALE

DA
DAVID A. SMITH
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE NO. 10108900

O.S. = OPEN SPACE
D.E. = MULTIFAMILY DEVELOPMENT
TH = TOWNHOME

LOT EASEMENTS
10' 20' 30'
REAR
COURTYARD





LEGEND

- IRON NAIL FOUND
- FIRE HYDRANT
- SEWER
- POWER POLE
- DOWN GUY
- SUBMISSION BOUNDARY
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- EXISTING CONTOURS
- PHASE BOUNDARY
- CONCRETE BERM/RAIL
- NATURAL PATH

DA
 CIVIL ENGINEER
 CONTRACT NO. 17-0000

O.S. - OPEN SPACE
D.E. - DRAINAGE EASEMENT
W.C. - WATER CURB
T.H. - TOWNHOME

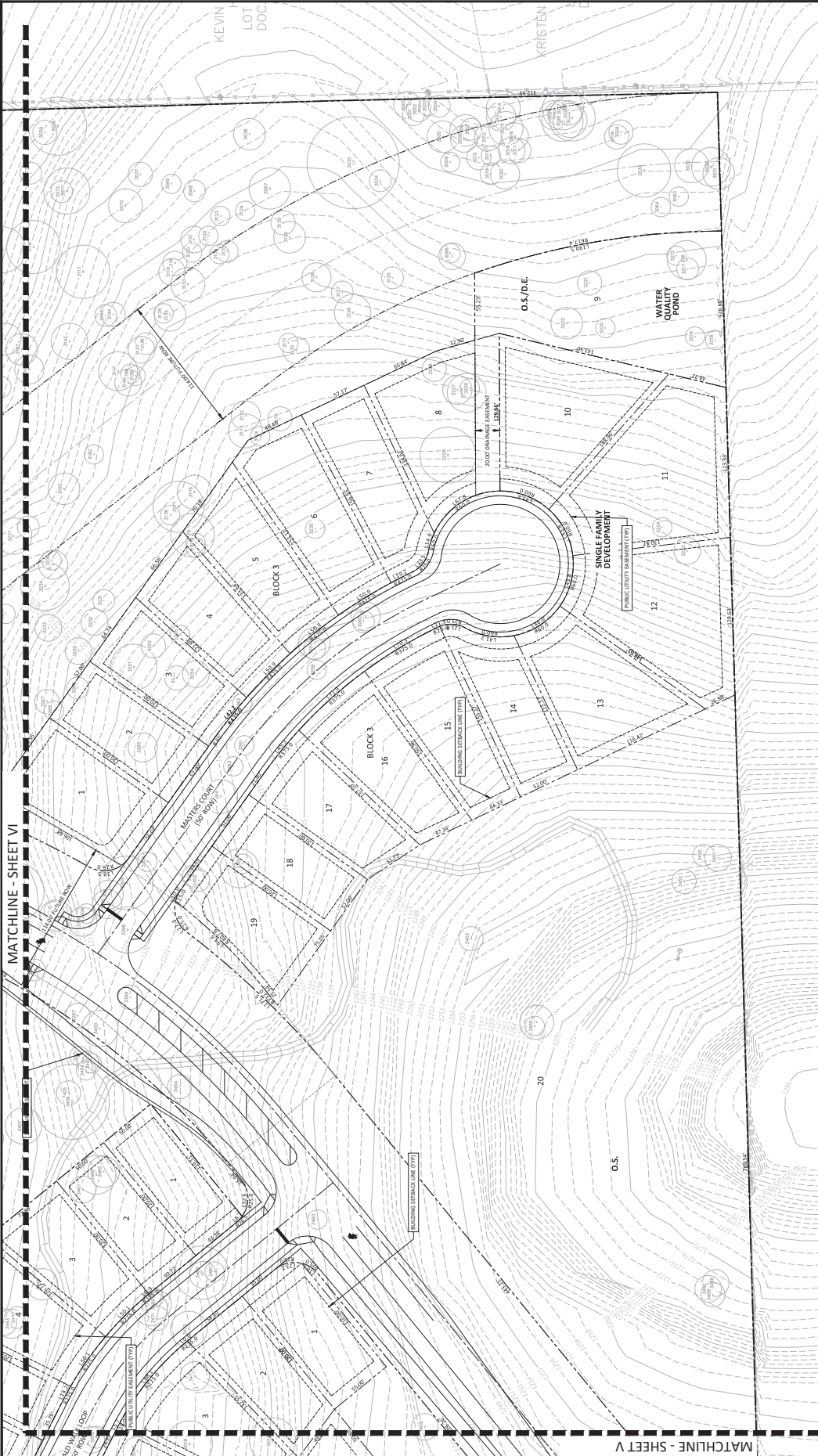
1" = 100'
 1" = 200'
 1" = 400'



VILLAGE GROVE SINGLE & MULTIFAMILY DEVELOPMENT

PRELIMINARY PLAT SHEET VII

DOUCET
 Civil Engineering // Entitlements // Geospatial
 200 N. Highways 21 W. 5th. 140
 Austin, TX 78758. Tel: (512) 883-2400
 www.doucetengr.com
 1875 Form Number: 2833
 1875 Form Number: 10105800



LEGEND

- BOUNDARY
- EXISTING
- PROPOSED
- DOWN GUT
- POWDER RAIL
- DOWN GUT
- SUBDIVISION BOUNDARY
- LOT LINES
- EXISTING
- PROPOSED
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALKS
- EXISTING
- PROPOSED
- PHASE BOUNDARY
- PHASE
- MATERIAL
- SCALE

DA
 David A. Anderson
 State of Texas
 License No. 11422022

DATE OF PREPARED
 D.E. = DRAINAGE
 W.Q. = WATER QUALITY
 T.H. = TOWNHOME

CELL SECTIONS
 10' x 10'
 20' x 20'
 30' x 30'

KEY MAP
 NO SCALE

7/14/2022

2024 STATE PROJECT NO. 2024-0000000000

DATE: 7/14/2022

PROJECT NO.: 2024-0000000000

PROJECT NAME: VILLAGE GROVE SINGLE & MULTIFAMILY DEVELOPMENT DRIPPING SPRINGS, TX

DESIGNER: DDC, N. CAROLINA

DATE: 7/14/2022

PROJECT NO.: 2024-0000000000

PROJECT NAME: VILLAGE GROVE SINGLE & MULTIFAMILY DEVELOPMENT DRIPPING SPRINGS, TX

VILLAGE GROVE SINGLE & MULTIFAMILY DEVELOPMENT DRIPPING SPRINGS, TX

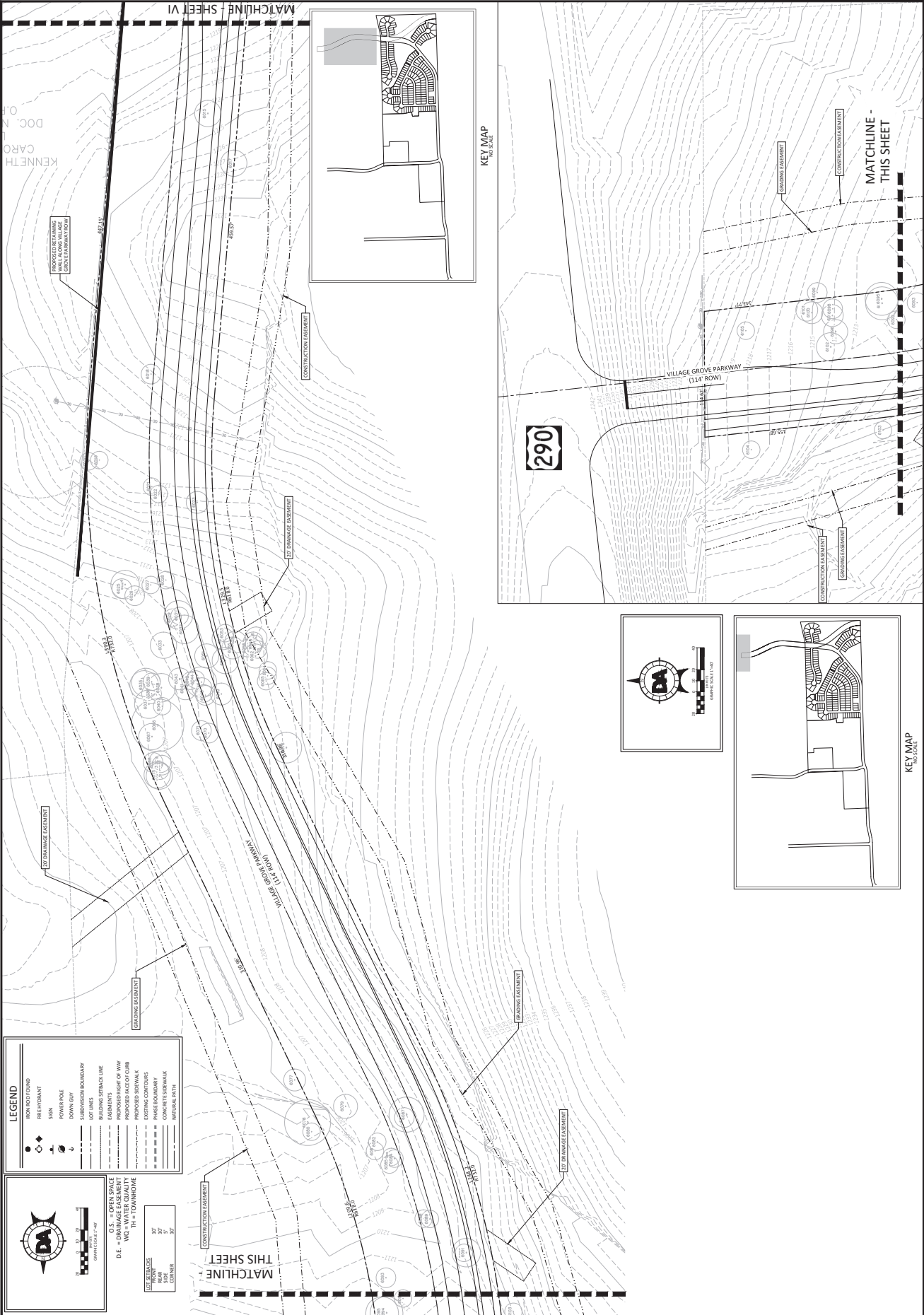
PRELIMINARY PLAT SHEET VIII

DOUCET Engineering // Entitlements // Geospatial

200 B Highway 21 W. 5th. 140 Austin, TX 78735 Tel: (512) 883-2400

www.doucetengineering.com

18785 Firm Number: 10105000



LEGEND

	BROWN RED FLAG
	FIRE HYDRANT
	SIGN
	POWER POLE
	DOWN POST
	SURVEY BOUNDARY
	LOT LINES
	EASEMENTS
	PROPOSED RANGE OF WAY
	PROPOSED SIDEWALK
	PHASE BOUNDARY
	CONCRETE SIDEWALK
	NATURAL PATH

THIS SHEET

OS = OPEN SPACE
 D.E. = DRAINAGE EASEMENT
 WQ = WATER QUALITY
 UT = UTILITIES

CONSTRUCTION

10' SIDEWALK
 5' SIDEWALK
 10' CORNER


GRAPHIC SCALE

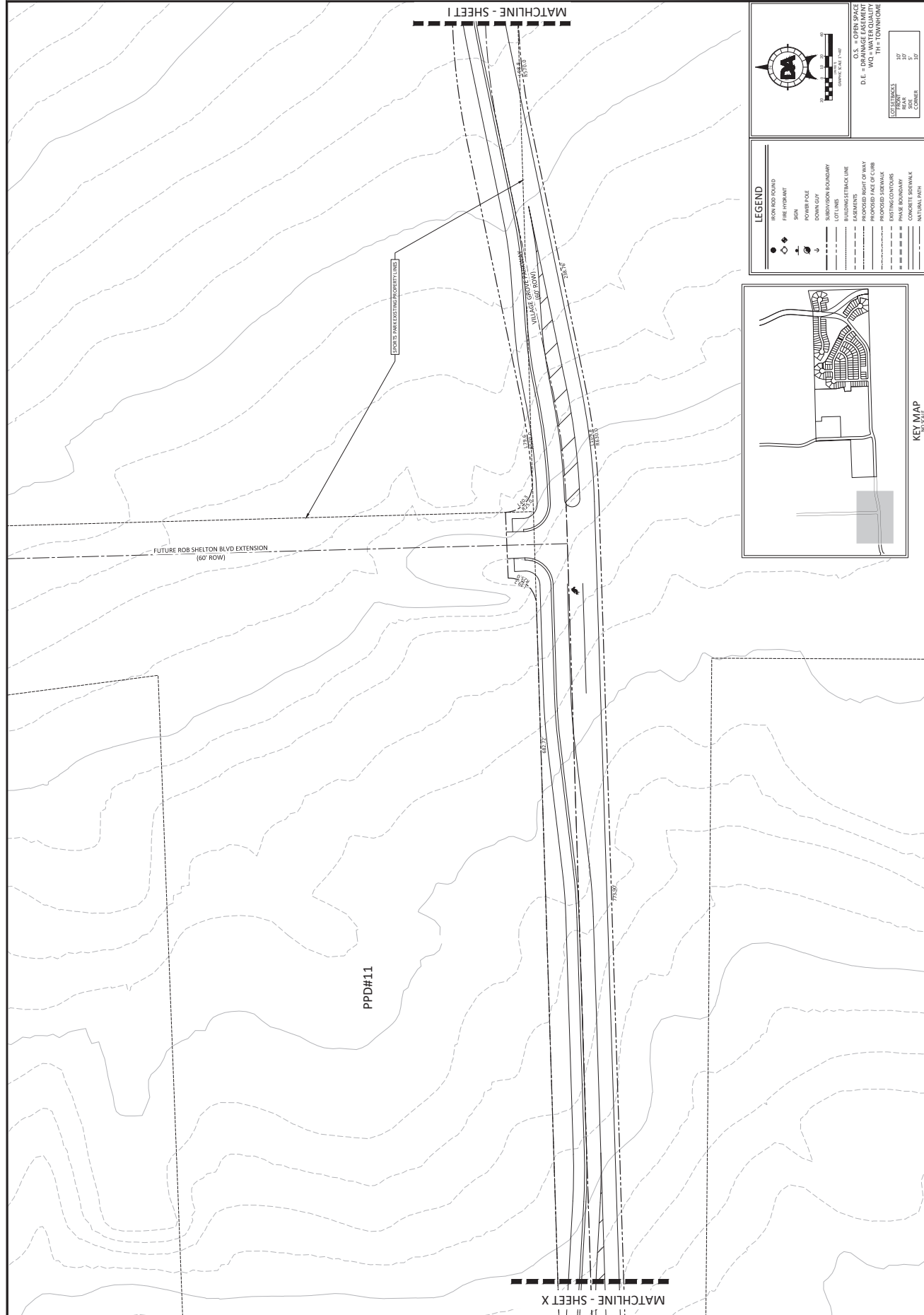
0 10 20 30 40 50


QUARTER INCH = 1 FOOT


 PROJECT NO.: **10**
 SHEET: **10**
 DATE: 11/14/2022
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 PROJECT: VILLAGE GROVE
 SINGLE & MULTIFAMILY DEVELOPMENT
 DRIPPING SPRINGS, TX

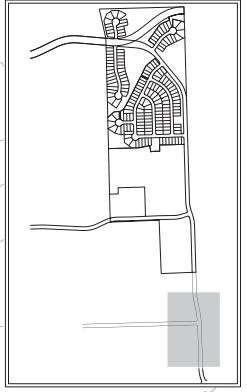
PRELIMINARY PLAT
SHEET IX


 CH2M Engineering // Entitlements // Geospatial
 2401 B. Highway 271, W. 5th, 140
 Austin, TX 78735, Tel: (512)-883-2400
 www.douceteng.com
 18787 Firm Number: 2837
 18785 Firm Number: 1010800

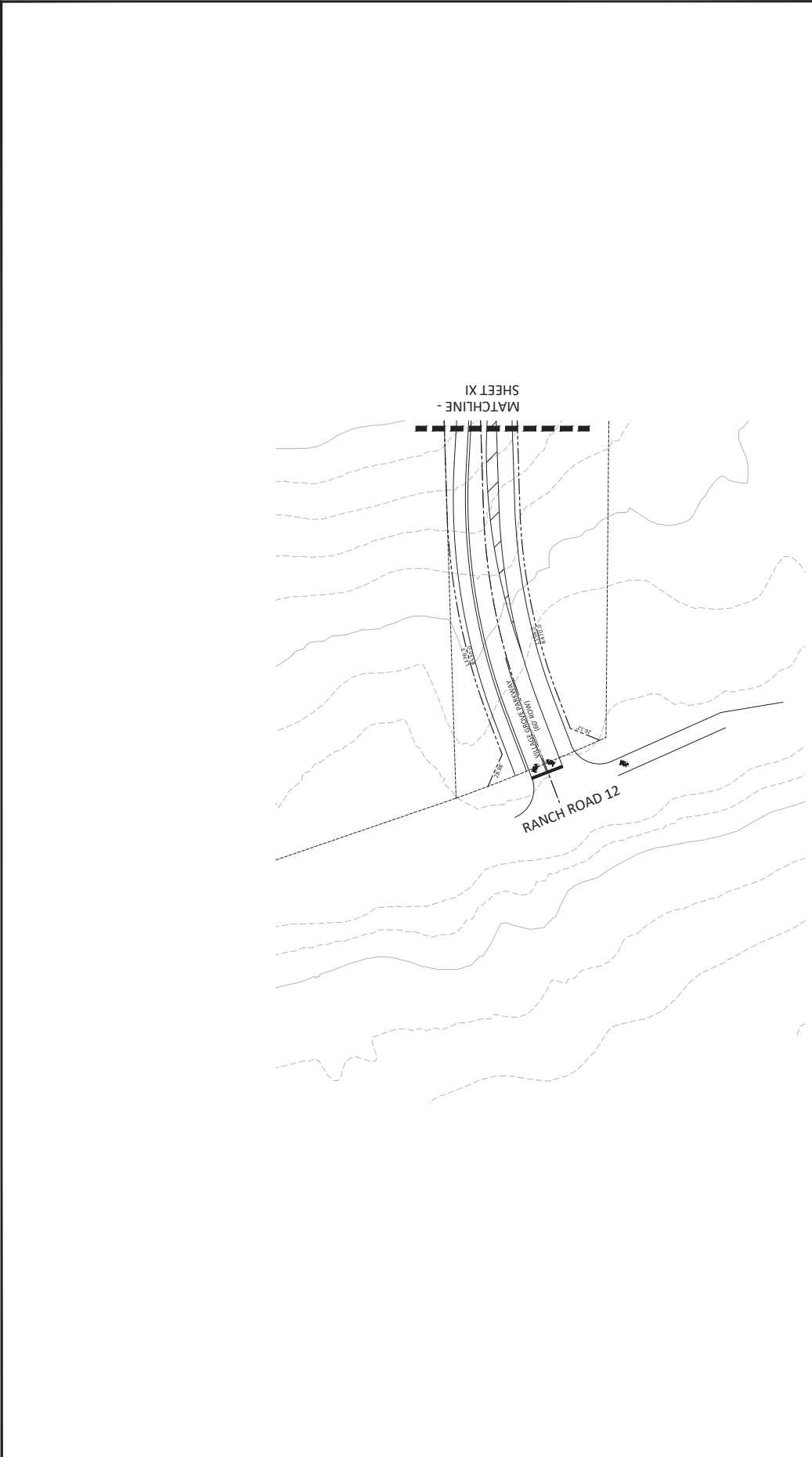
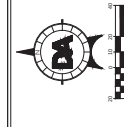



 U.S. = OFFICE SPACE
 ZONING = RESIDENTIAL
 D.L.E. = DRIVE WATER CLARITY
 W.O. = WATER QUALITY
 T.H. = TOWNHOME
 LOT EASEMENTS:
 10' REAR
 5' CORNER
 5'

LEGEND
 BANKS BOUNDARY
 FIRE HYDRANT
 SETBACK LINE
 POWER POLE
 DOWN GUT
 SUBDIVISION BOUNDARY
 LOT LINES
 BUILDINGS SETBACK LINE
 EXISTING UTILITY LINES
 PROPOSED FACE OF CURB
 PROPOSED SIDEWALKS
 EXISTING CONTOURS
 PHASE BOUNDARY
 MULTIFAMILY UNITS



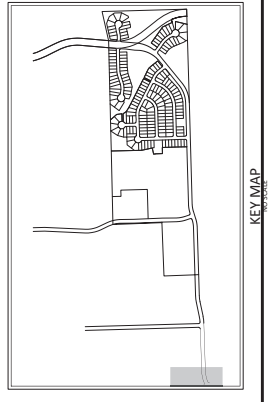
Drawing: c:\pwworking\ch2m\houston\10353753\1702018 PRELIM.dwg
 User: dmiller
 Plot Method: PLT, 11.22, 11.30
 Plot Date/Time: 11.22.22 13:45:2

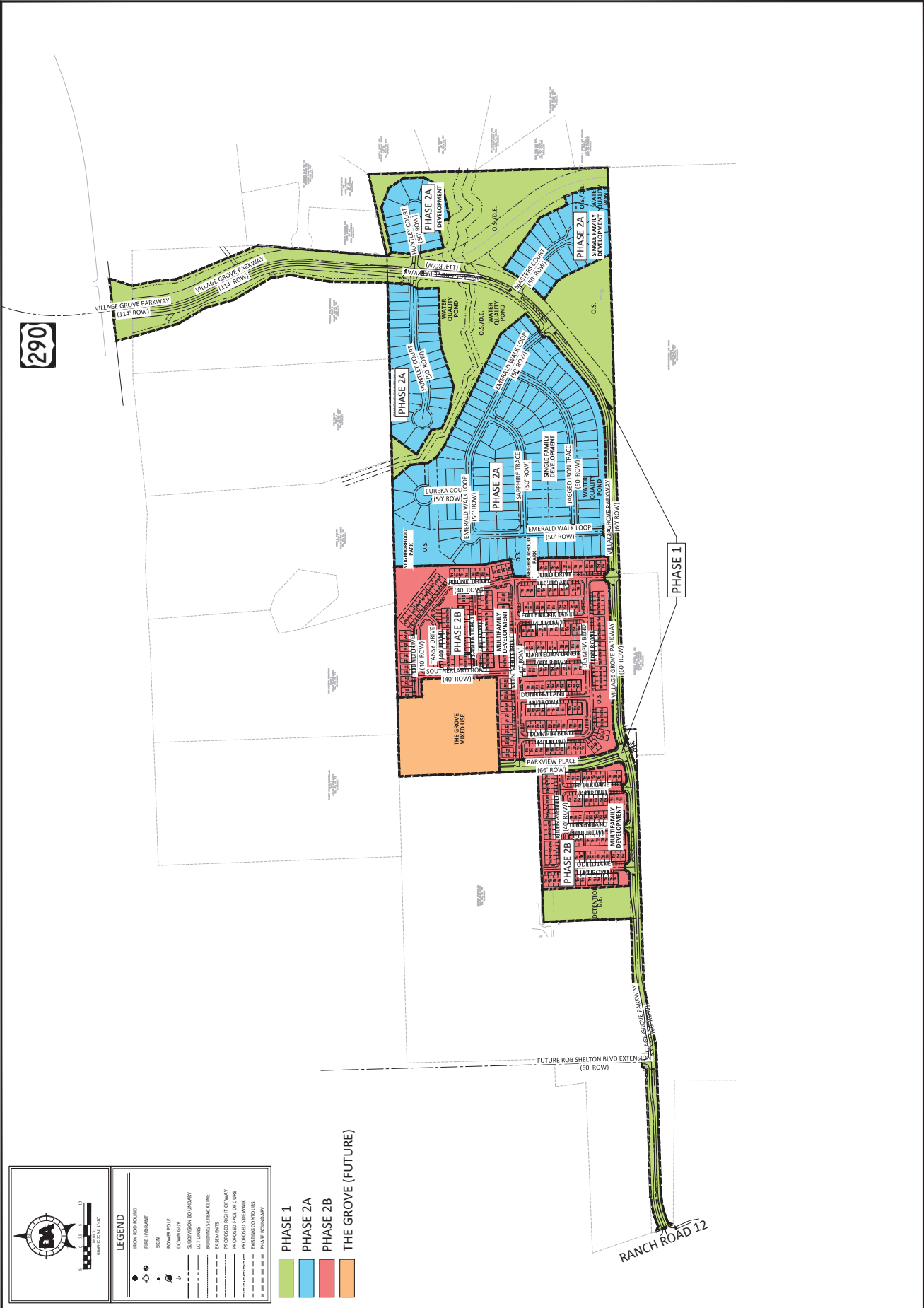



U.S. = OPEN SPACE
 D.E. = DRAINAGE
 WQ = WATER QUALITY
 TH = TOWNSHIP

LOT ELEVATIONS
 10' 20'
 REAR 30'
 CORNER 30'

LEGEND	
	BOUNDARY
	EASEMENTS
	PROPERTY
	DOWN CUT
	SUBDIVISION BOUNDARY
	LOT LINES
	BUILDING SETBACK LINE
	EASEMENT SETBACK LINE
	PROPOSED FACE OF CURB
	PROPOSED MATERIALS
	EXISTING CONTOURS
	PHASE BOUNDARY
	OTHER UTILITIES
	NATURAL AREAS



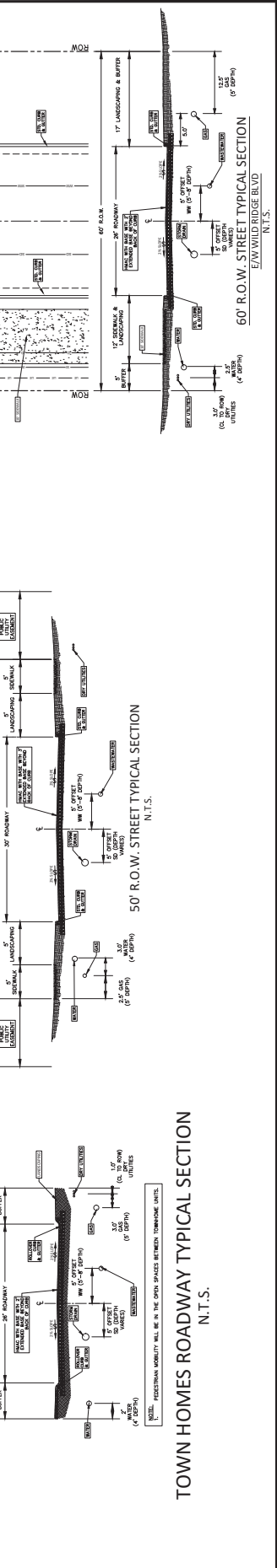
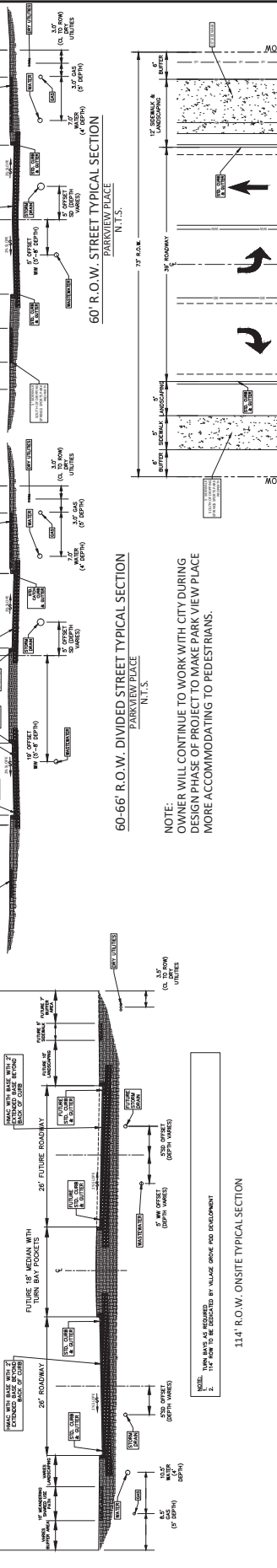
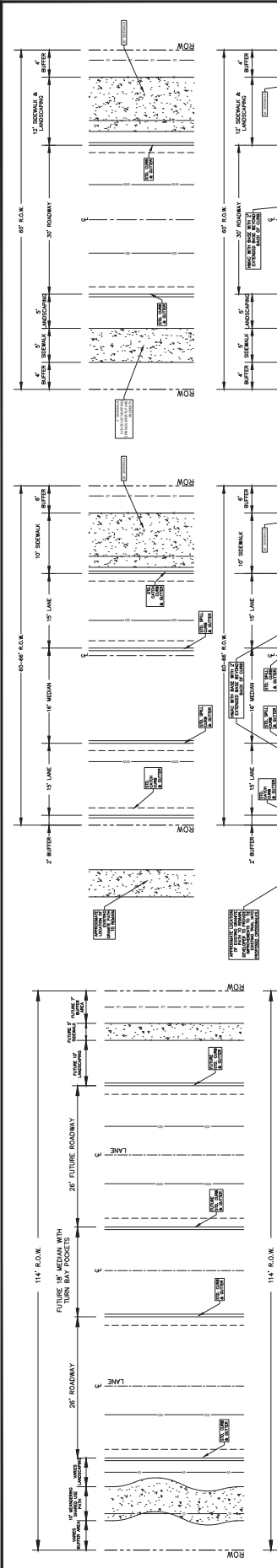


LEGEND

Symbol	PROPOSED POND
Symbol	EXISTING POND
Symbol	SEWER POLE
Symbol	UTILITY POLE
Symbol	CONCRETE
Symbol	ASPHALT
Symbol	GRAVEL
Symbol	SILO/STOCK BOUNDARY
Symbol	BUILDING SETBACK LINE
Symbol	EXISTING SETBACK LINE
Symbol	EXISTING LOT LINES
Symbol	PROPOSED LOT LINES
Symbol	PROPOSED SETBACK
Symbol	EXISTING SETBACK
Symbol	PHASE BOUNDARY

- PHASE 1
- PHASE 2A
- PHASE 2B
- THE GROVE (FUTURE)

Drawing: c:\pwworking\dwg\103515737.dwg 2/22/2018 10:14:10 AM
 User: JBRUNER
 Plot Method: PLT, 22, 13.00
 Plot Path: \\...



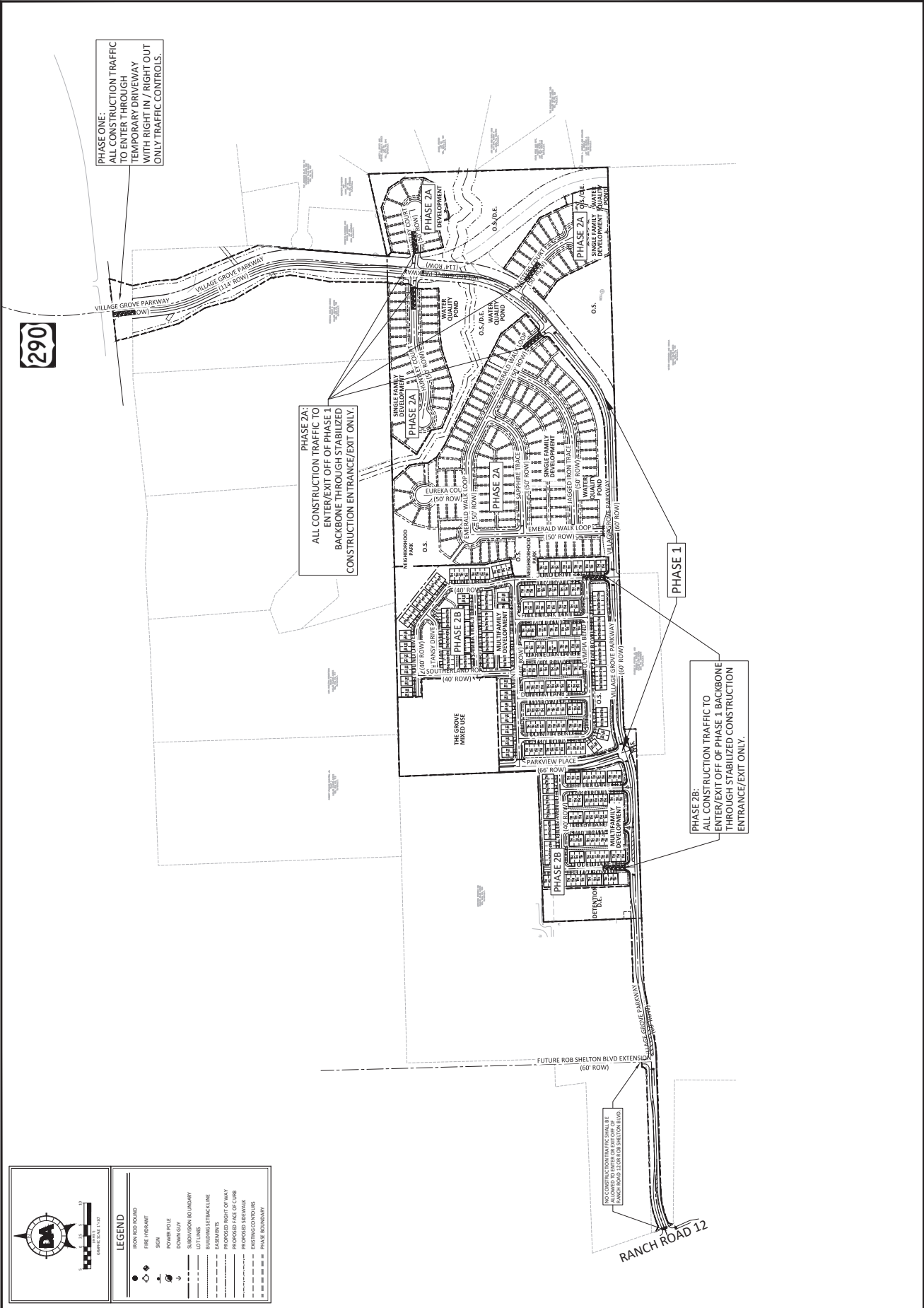
NOTE:
 OWNER WILL CONTINUE TO WORK WITH CITY DURING
 DESIGN PHASE OF PROJECT TO MAKE PARK VIEW PLACE
 MORE ACCOMMODATING TO PEDESTRIANS.

NOTE:
 1. TURN BAYS AS REQUIRED
 2. 114' R.O.W. TO BE DESIGNATED BY VILLAGE GROVE FOR DEVELOPMENT

114' R.O.W. ONSITE TYPICAL SECTION

TOWN HOMES ROADWAY TYPICAL SECTION
 N.T.S.

NOTE:
 PEDESTRIAN MOBILITY WILL BE IN THE OPEN SPACES BETWEEN TENEMENT UNITS.













PHASE ONE:
 ALL CONSTRUCTION TRAFFIC
 TO ENTER THROUGH
 TEMPORARY DRIVEWAY
 WITH RIGHT IN / RIGHT OUT
 ONLY TRAFFIC CONTROLS.

PHASE 2A:
 ALL CONSTRUCTION TRAFFIC TO
 ENTER/EXIT OFF OF PHASE 1
 BACKBONE THROUGH STABILIZED
 CONSTRUCTION ENTRANCE/EXIT ONLY

PHASE 2B:
 ALL CONSTRUCTION TRAFFIC TO
 ENTER/EXIT OFF OF PHASE 1 BACKBONE
 THROUGH STABILIZED CONSTRUCTION
 ENTRANCE/EXIT ONLY.

LEGEND

-  PROPOSED PAVING
-  FIRE HYDRANT
-  SEWER MANHOLE
-  STORM MANHOLE
-  PROPOSED LOT LINES
-  SUBDIVISION BOUNDARY
-  BUILDING SETBACK LINE
-  EASEMENT
-  PROPOSED FACE OF CURVE
-  PROPOSED SIDEWALK
- EXISTING CONTOURS
- PHASE BOUNDARY



Date: August 19, 2022

Meranda Perkins
 Doucet
 mperkins@doucetengineers.com

Permit Number: SUB2022-0039
 Project Name: Village Grove Preliminary Plat
 Project Address: Sports Park Rd., Dripping Springs, TX 78620

Engineer/Public Works Comments

The following comments have been provided by Lauren Barzilla. Should you have any questions or require additional information, please contact Lauren Barzilla by email lauren.barzilla@burgessniple.com.

1. Sheet 13 – The City of Dripping Springs has standard street sections and utility alignments that can be obtained by contacting Trevor Lawrence at trevor.lawrence@burgessniple.com adjust alignments as necessary to comply with the standards.
2. Please elaborate in your geologic assessment or engineering report on the requirements for abandoning water wells and when that will be completed by the development. [Sub Ord 4.8(l)(4)]
3. Show all adjacent property owner information. [Sub. Ord. 4.7(c)]
4. Provide documentation showing approval of TxDOT driveway locations. [Plat Application Checklist]
5. Add a note naming who will be responsible for operation and maintenance of Stormwater Detention and Water Quality Ponds. [Plat Information Requirements]
6. [Hays County Development Regulations 3.07(B)] A drainage area of sixty-four (64) acres or greater within a contributing watershed for which a Regulatory floodplain has not previously been identified shall require the identification of a local flood plain. For areas of flow with less than sixty-four (64) acres of contributing area, the identification of a local flood plain is not required; however, any concentrated flow necessitates the dedication of a drainage easement.
7. Show and label the spread of the 100-yr flow for existing drainage ways within the tract. [Subdivision Ordinance 12.2.2] Where a subdivision is traversed by a watercourse, drainageway or channel, there shall be provided a storm drainage easement conforming substantially with the 100-year floodplain of such course and of such additional width as may be designated by the City Engineer, subject to determination according to proper engineering considerations.
8. Add a roadway classification column to the Public Roadway Table. Classifications names shall match those in the City's Transportation Master Plan.

9. Public Roadway Table - Update the sidewalk for the 50ft ROW to 5ft each side to match submitted cross sections.
10. Provide a sidewalk and trails plan. Show the various types and sizes of sidewalks and trails with different hatches to satisfy the sidewalk and trails plan requirement. [Preliminary Plat Information Requirements].
11. Some cul-de-sacs show 50ft pavement radius and some show 49ft. Please review and update.
12. Disconnect the intersections of Derby Lane and Ryder Lane with Village Grove Parkway as previously requested.
13. Some of the lotting plan is turned off in the keymap. Please update.
14. For clarity. Show left turn lane arrows in plan view at all locations where left turn lanes are proposed.
15. Update label for the "114' Future ROW" to "114' ROW dedicated to City for future improvements"
16. Address the conversion of Sports Park Rd to one-way on the preliminary plat to address 3.1(a)(iii)(E) of the Roadway Agreement.
17. Label the potential Preserve Driveway [RA3.1(a)(v)(A)]
18. Label the potential Foster Driveway [RA 3.1(a)(v)(B)]
19. Show the phasing of the wastewater system on the schematic wastewater layout. Identify the location of the temporary package plat and show how it will receive flows.

City Planner Comments

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email tcarpenter@cityofdrippingsprings.com.

20. Show updated City Limits on the vicinity map to include the annexation of Village Grove [4.7.a]
21. Provide a note stating that "This subdivision is regulated by the Village Grove Planned Development district, City Ordinance 2022-19."
22. Show recording information of 300 Twin oaks trl, R14157. [4.7.c]
23. Show acreage of tract 11A on the existing lot configuration [4.7.f]
24. Include a graphic scale and ratio scale on each sheet [4.7.i]
25. Please change the City's approval statement to read, "...Has been submitted to and considered by the Planning & Zoning Commission and is hereby approved.". [4.7.r.4]
26. Show width of the townhouse units. This can be done as a separate exhibit if necessary.
27. Provide Hays County street name approval letter. [4.7.d]
28. Note that approval of the preliminary plat first requires approval of the submitted parks plan. [4.7.h]
29. Show average lot size of each phase on the lot summary chart [PDD 2.2]
30. Replate "Multifamily" with "Townhome" throughout the plat. [PDD2.4.2]
31. Provide owner authorization for all properties included in this preliminary plat. [Application checklist]

Fire Marshal Comments

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email dpolk@northhaysfire.com.

32. Fire Approves



Planning and Zoning Commission

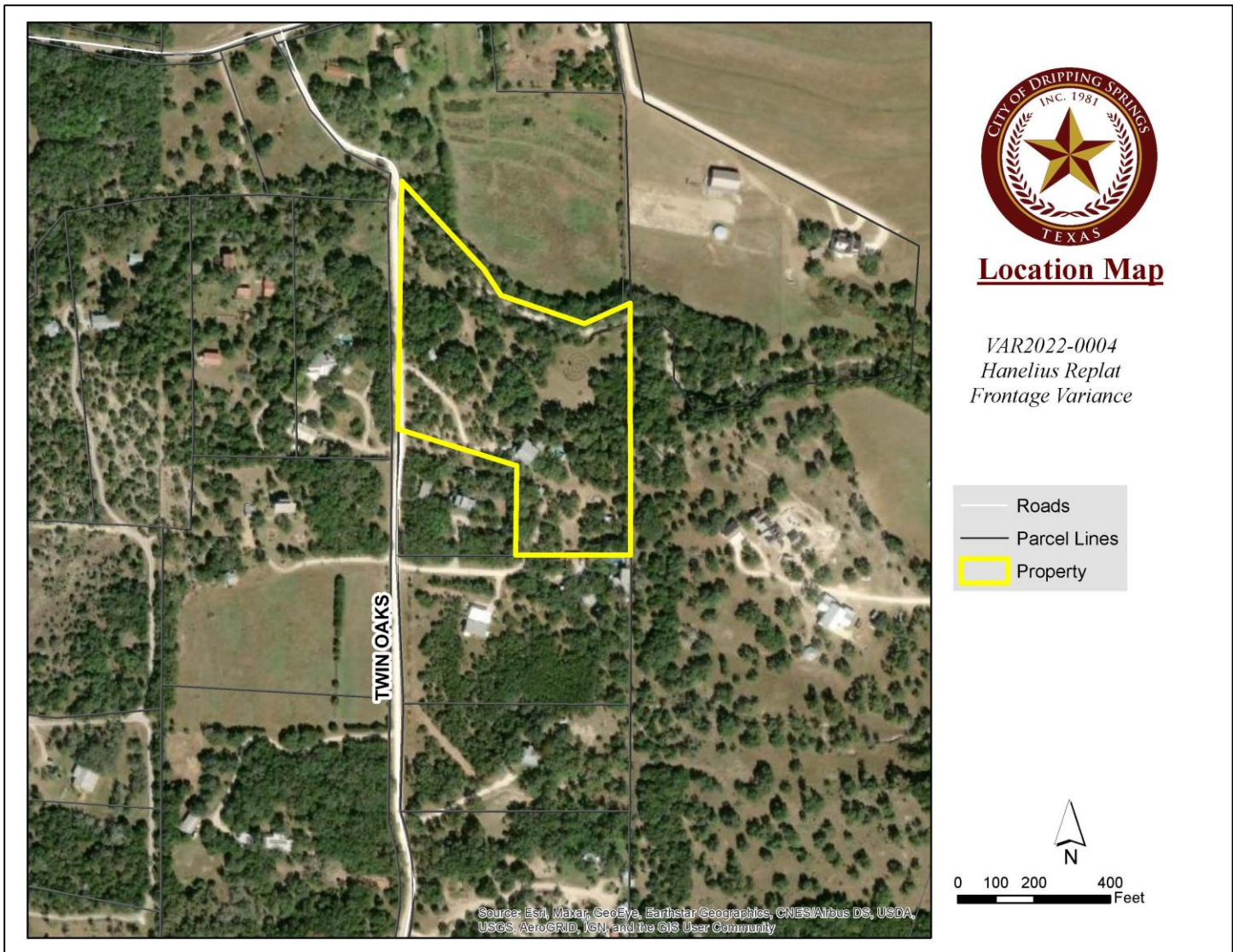
Planning Department Staff Report

Item 5.

Planning and Zoning Commission Meeting: August 23, 2022
Project No: SUB2022-0038
Project Planner: Tory Carpenter, AICP - Senior Planner

Item Details

Project Name: Hanelius & Peterson Subdivision Lot 11A Replat
Property Location: 449 Twin Oaks Trail
Legal Description: Lot 11A of the Hanelius & Peterson Subdivision
Applicant: Nash Gonzales, Lenworth Consulting, LLC
Property Owner: William & Elizabeth Hanelius
Staff recommendation: Denial of the Replat based on outstanding comments



Overview

The purpose of this replat is to subdivide one existing platted lot into two lots.

Access and Transportation

Both lots will eventually take access via Twin Oaks trail. However, lot 11A-1 will take its primary access via a 25' wide access easement.

Site Information

Location: 449 Twin Oaks Trail

Zoning Designation: ETJ

Property History

The original Subdivision was recorded in 1988. On June 28, 2022, the Planning & Zoning Commission approved a variance the frontage requirement which allows one of the properties to take access via an access easement.

Recommendation

Denial to address comments.

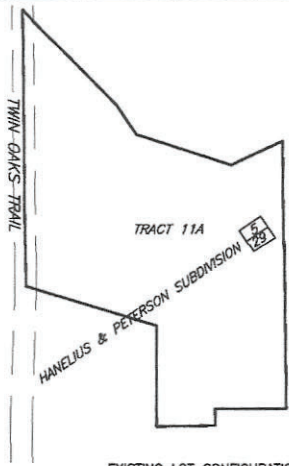
Attachments

Exhibit 1 – Subdivision Application

Exhibit 2 – Replat

Exhibit 3 – Outstanding Comments Letter

Recommended Action	Denial of the Plat with the outstanding comments.
Alternatives/Options	N/A
Budget/Financial impact	N/A
Public comments	No comments have been received at the time of the report.
Enforcement Issues	N/A
Comprehensive Plan Element	N/A



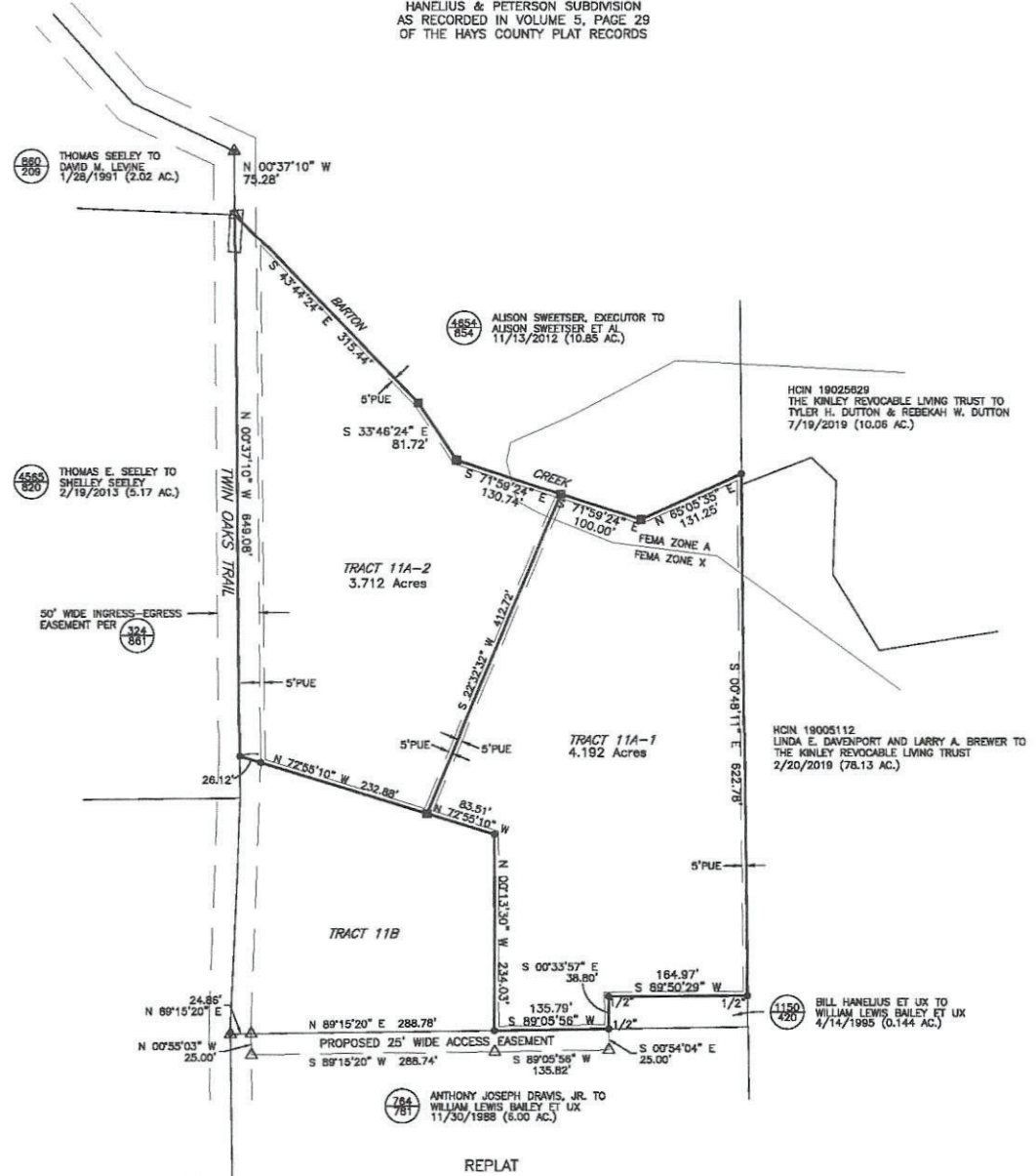
EXISTING LOT CONFIGURATION
BEING A PORTION OF LOT 11A,
HANELIUS & PETERSON SUBDIVISION
AS RECORDED IN VOLUME 5, PAGE 29
OF THE HAYS COUNTY PLAT RECORDS

LEGEND

	HAYS COUNTY DEED, REAL PROPERTY OR OFFICIAL PUBLIC RECORDS
	HAYS COUNTY PLAT RECORDS
	HAYS COUNTY INSTRUMENT NUMBER
	1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "BYRN SURVEY"
	5/8" IRON ROD FOUND OR DIAMETER NOTED
	CONCRETE NAIL SET
	600 NAIL FOUND
	WIRE FENCE
	UTILITY LINE, POLE AND GLY

ORIGINAL SCALE
1" = 200'

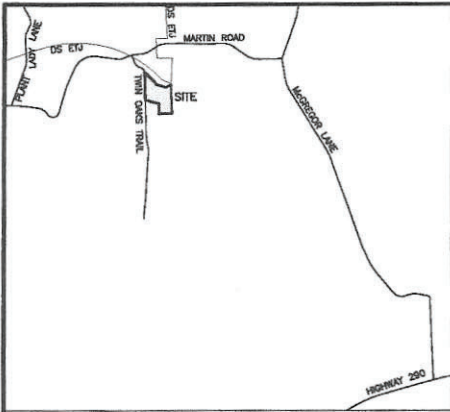
ORIGINAL SCALE
1" = 100'



REPLAT

BYRN & ASSOCIATES, INC.
SURVEYING
P.O. BOX 1433 SAN MARCOS, TEXAS 78667
PHONE 512-398-2270 FAX 512-392-2945
FIRM NO. 10070500

CLIENT: PHILLIPS, JOSEPH
DATE: 7/7/2021
OFFICE: K. SMITH
CREW: K. SMITH, C. SMITH
FB/PG: 782/68
PLAT NO. 27951-21-c



VICINITY MAP - 1"=2000'

SURVEYORS NOTES

1. FENCES MEANDER.
2. BEARINGS, DISTANCES AND AREAS IN PARENTHESES ARE FROM RECORD INFORMATION.
3. ACCORDING TO SCALING FROM THE CURRENT F.E.M.A. FLOOD INSURANCE RATE MAP NO. 482900085F, DATED 9/2/2005, THE MAJORITY OF THIS TRACT LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AND A PORTION LIES WITHIN ZONE A (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD).
4. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE OR EASEMENT, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON.
5. ACCORDING TO SCALING FROM TCEQ MAPS NO PORTION OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE AND ALL OF THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER CONTRIBUTING ZONE.
6. THIS SUBDIVISION LIES WITHIN THE BOUNDARIES OF THE DRIPPING SPRINGS ISD.
7. THIS TRACT LIES WITHIN THE DRIPPING SPRINGS EXTRA-TERRITORIAL JURISDICTION.
8. THIS SUBDIVISION LIES WITHIN ESD NUMBERS 1 AND 6.
9. THIS SUBDIVISION LIES WITHIN THE HAYS TRINITY GROUNDWATER CONSERVATION DISTRICT.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY, RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY ENVIRONMENTAL HEALTH.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

ERIC VAN GAASBEEK, R.S., C.F.M. DATE
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

DRIVEWAY PERMIT STATEMENT:

DRIVEWAYS SHALL COMPLY WITH CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS, AND BE PERMITTED THROUGH THE TRANSPORTATION DEPARTMENT OF HAYS COUNTY UNDER CHAPTER 791.

ALL CURBVERTS, WHEN REQUIRED SHALL COMPLY WITH THE CURRENT HAYS COUNTY STANDARD.

LOT SIZE CATEGORIES

TOTAL AREA = 7.004 AC.
TOTAL NUMBER OF LOTS = 2
AVERAGE LOT SIZE = 3.502
NUMBER OF LOTS OVER 10 ACRES = 0
NUMBER OF LOTS 5 - 10 ACRES = 0
NUMBER OF LOTS 2 - 5 ACRES = 2
NUMBER OF LOTS 1 - 2 ACRES = 0
NUMBER OF LOTS LESS THAN 1 ACRE = 0

UTILITIES:
ELECTRIC-FEDERNALES ELECTRIC COOPERATIVE
WATER-INDIVIDUAL ON-SITE WELLS
SEWER-INDIVIDUAL ON-SITE SEWAGE FACILITIES

CLIENTS: PHILLIPS, JOSEPH
DATE: 7/7/2021
OFFICE: K. SMITH
CREW: K. SMITH, C. SMITH
FB/PQR: 782/68
PLAT NO. 27501-21-e

STATE OF TEXAS*
COUNTY OF HAYS*

KNOW ALL MEN BY THESE PRESENTS, THAT WE, WILLIAM J. HANELIUS AND ELIZABETH B. HANELIUS, OWNERS OF A PORTION OF LOT 11A, HANELIUS & PETERSON SUBDIVISION, HAYS COUNTY, TEXAS AS CONVEYED TO US BY DEED DATED 1/29/1988, AND RECORDED IN VOLUME 718, PAGE 578, HAYS COUNTY REAL PROPERTY RECORDS, DO HEREBY REPEAT THIS PROPERTY TO BE KNOWN AS REPEAT OF LOT 11A, HANELIUS & PETERSON SUBDIVISION, IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

WILLIAM J. HANELIUS, OWNER
448 TRINITY OAKS TRAIL
DRIPPING SPRINGS, TX., 78620

ELIZABETH B. HANELIUS, OWNER
448 TRINITY OAKS TRAIL
DRIPPING SPRINGS, TX., 78620

STATE OF TEXAS*
COUNTY OF HAYS*

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM J. HANELIUS AND ELIZABETH B. HANELIUS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, A.D., 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS *
COUNTY OF HAYS *

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20____, AT ____ O'CLOCK ____M., AND DULY RECORDED ON THE ____ DAY OF _____, 20____ AT ____ O'CLOCK ____M., IN THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS IN INSTRUMENT NUMBER _____.

ELAINE H. CARDENAS, COUNTY CLERK
HAYS COUNTY, TEXAS

I, THE UNDERSIGNED, DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES DEPARTMENT, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF DRIPPING SPRINGS FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS.

MARCUS PACHECO, DIRECTOR, DATE
HAYS COUNTY DEVELOPMENT SERVICES

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY, RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

ERIC VAN GAASBEEK, R.S., C.F.M. DATE
HAYS COUNTY FLOODPLAIN ADMINISTRATOR

MARCUS PACHECO, DIRECTOR, DATE
HAYS COUNTY DEVELOPMENT SERVICES

THIS REPEAT OF LOT 11A, HANELIUS & PETERSON SUBDIVISION HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS AS A MINOR PLAT IN ACCORDANCE WITH THE CITY OF DRIPPING SPRINGS CODE OF ORDINANCES, CHAPTER 28, EXHIBIT A, SECTION 10, "MINOR PLATS" AND IS HEREBY ADMINISTRATIVELY APPROVED.

MICHELLE FISCHER, DATE
CITY ADMINISTRATOR

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY STATE THAT TO THE BEST OF MY SKILL AND KNOWLEDGE THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.
REGISTERED PROFESSIONAL LAND SURVEYOR
KYLE SMITH, R.P.L.S. NO. 5307

BYRN & ASSOCIATES, INC.
SURVEYING
P.O. BOX 1433 SAN MARCOS, TEXAS 78667
PHONE 512-395-2270 FAX 512-392-2945
FIRM NO. 10070500



DRIPPING SPRINGS
Texas

Item 5.

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

SUBDIVISION APPLICATION

Case Number (staff use only): _____ - _____

MEETINGS REQUIRED

(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION DATE: _____ <input type="checkbox"/> NOT SCHEDULED	PRE-APPLICATION CONFERENCE DATE: _____ <input type="checkbox"/> NOT SCHEDULED
---	---

PLAT TYPE

- Amending Plat
- Minor Plat
- Replat
- Final Plat
- Plat Vacation
- Other: _____

CONTACT INFORMATION

APPLICANT NAME Nash Gonzales, Agent
 COMPANY Lenworth Consulting LLC
 STREET ADDRESS P.O.. Box 3098
 CITY Cedar Park STATE TX ZIP CODE 78630
 PHONE (512) 658-8806 EMAIL lenworthconsul@gmail.com

OWNER NAME William J. and Elizabeth B. Hanelius.
 COMPANY _____
 STREET ADDRESS 449 Twin Oaks Trail
 CITY Dripping Springs STATE TX ZIP CODE 78620
 PHONE (512) 294-0884 EMAIL bloomdesignbuild@gmail.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	William J. and Elizabeth B. Hanelius
PROPERTY ADDRESS	449 Twin Oaks Trail
CURRENT LEGAL DESCRIPTION	Pt of 11A
TAX ID #	R29696
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	8.05 ac
SCHOOL DISTRICT	Dripping Springs
ESD DISTRICT(S)	
ZONING/PDD/OVERLAY	ETJ
EXISTING ROAD FRONTAGE	<input checked="" type="checkbox"/> Private Name: <u>Twin Oaks Trail</u> <input type="checkbox"/> State Name: _____ <input type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input type="checkbox"/> Yes (see attached) <input checked="" type="checkbox"/> Not Applicable Development Agreement Name: _____

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Replat of Lot 11A, Hanelius & Peterson Subdivision
TOTAL ACREAGE OF DEVELOPMENT	8.05
TOTAL NUMBER OF LOTS	2
AVERAGE SIZE OF LOTS	3.712 ac and 4.192 ac
INTENDED USE OF LOTS	<input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>2</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>3.712 ac & 4.192 ac</u> COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: _____ PRIVATE: <u>none</u>
ANTICIPATED WASTEWATER SYSTEM	<input checked="" type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER <input type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input checked="" type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED: HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	

COMMENTS: _____

TITLE: _____ SIGNATURE: _____

PUBLIC UTILITY CHECKLIST

PEC
 ELECTRIC PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

Well on site
 WATER PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

Septic
 WASTEWATER PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

Propane
 GAS PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO

APPLICANT'S SIGNATURE

Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Applicant Name

NASH GONZALES, AGENT

Applicant Signature

Nash Gonzales, agent

Date

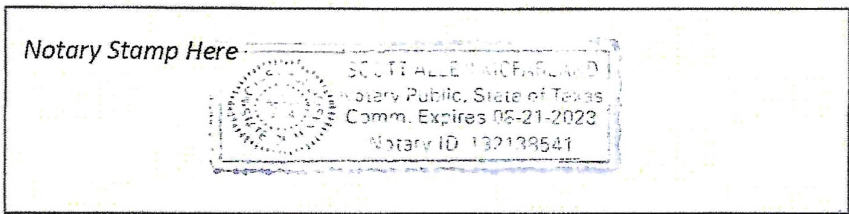
9-29-21

Notary

[Signature]

Date

9-29-21



William J Hanelius Elizabeth B. Hanelius

Property Owner Name

William J Hanelius Elizabeth B. Hanelius 9/29/2021
 Property Owner Signature Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: Wash Dugles, agent Date: 10-6-21

FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST		
Subdivision Ordinance, Section 5		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application fee (refer to Fee Schedule)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(1)(4)] (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input type="checkbox"/>	Digital Data (GIS) of Subdivision
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

<input type="checkbox"/>	<input type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Parkland Dedication fee (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)]
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Pre-Application Meeting Form signed by City Staff

FINAL PLAT INFORMATION REQUIREMENTS

<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all street right-of-way and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes,

		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:

NARRATIVE OF COMPLIANCE

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

Outdoor Lighting,
Article 24.06

Parkland Dedication,
Article 28.03

Landscaping and Tree
Preservation, Article
28.06

Subdivision, 28.02, Exhibit A	This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).
Zoning, Article 30.02, Exhibit A	



Date: August 19, 2022

Permit Number: SUB2022-0038

Project Name: Re-Plat of Lot 11A, Hanelius & Peterson Subd.

Project Address: 449 Twin Oaks Trl., Dripping Springs, TX 78620

City Planner Comments

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email tcarpenter@cityofdrippingsprings.com.

1. Delineate the boundaries of the city limits and ETJ on the vicinity map [4.7.a]
2. Show recording information of 300 Twin oaks trl, R14157. [4.7.c]
3. Show acreage of tract 11A on the existing lot configuration [4.7.f]
4. Include a graphic scale [4.7.i]
5. Hays County 1445 Approval Letter [4.7.o]
6. This is a replat and needs to be approved by the Planning and Zoning Commission. Please change the City's signature block to include the Planning and Zoning Commission chair and the City Secretary instead of the City Administrator. [4.7.r.4]
7. The 50ft drainage easement along the northern edge of the property from the original plat is missing [7.2.3]
8. Provide a recorded copy of the access easement and show the recording information on the plat.

Engineer/Public Works Comments

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email cgilpin@cityofdrippingsprings.com.

9. Show and label the Water Quality Buffer Zones on the plat document that is to be approved and recorded.[Plat requirements checklist]
10. Delineate the Local 100-yr floodplain and provide drainage easement to contain the 100-yr flow on the plat document that is to be approved and recorded. [Plat requirements checklist]
11. Provide OSSF facility planning report or approved OSSF permit [Plat Checklist]

12. Show a graphic scale bar [Plat requirements checklist]

13. Provide documentation to the city establishing that the applicant has notified the following entities of the applicant's plans for the project: Hays-Trinity Groundwater Conservation District. [Sub Ord 4.7(u)]

14. Show the existing water well on the plat. Per [TAC Title 16, Part 4, Chapter 76, Rule 76.1(a)(1)], a water well must be 50 ft from property line. Annotate 50 ft offset.

15. Provide a 20 ft PUE along the frontage of Twin Oaks Trail Road [Sub Ord 12.2.4]



Planning & Zoning Commission Planning Department Staff Report

Item 6.

Planning & Zoning Commission meeting: August 23, 2022

Project No: ZA2022-0003

Project Planner: Tory Carpenter, AICP, Senior Planner

Item Details

Project Name: Dripping Springs Community Library

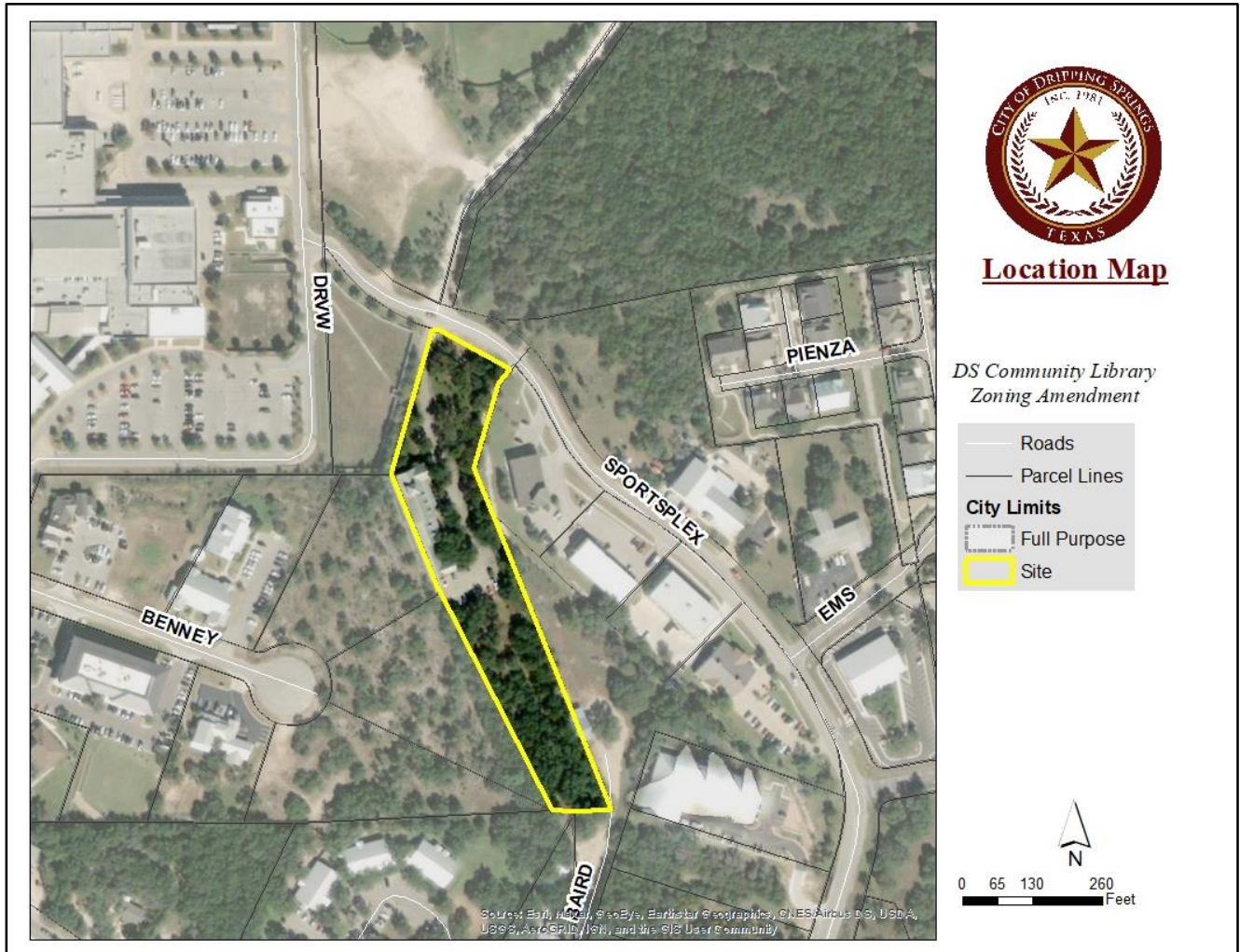
Property Location: 501 Sportsplex Drive

Legal Description: 3.209 acres out of the Philip A Smith Survey

Applicant: Bob Richardson

Property Owner: Dripping Springs Community Library

Request: Zoning amendment from Agriculture “AG” to Commercial Services “CS”



Background

While the property is currently in the ETJ, the default zoning district if it is annexed is Agriculture “AG”

Per Ch. 30 Exhibit A, §3.5-3.6

- **AG – Agriculture:** *The AG, agriculture district is designed to permit the use of land for the ranching, propagation and cultivation of crops, small-scale horticultural enterprises, and similar uses. Single-family uses on large lots are also appropriate for this district. Territory that has been newly annexed into the city is initially zoned agriculture. It is anticipated that some portion of agriculturally zoned land may eventually be rezoned to another zoning classification in the future.*

The applicant requests a zoning amendment to Commercial Services “CS”

- **CS – Commercial Services:** *The commercial services (CS) district is intended to provide a location for commercial and service-related establishments, such as wholesale product sales, welding, and contractors shops, plumbing shops, automotive repair or painting services, upholstery shops, and other similar commercial uses. Uses in this district may utilize open storage areas that are screened from public view. The uses envisioned for the district will typically utilize small sites and have operational characteristics that are generally not compatible with residential uses and most other types of nonresidential uses within the city.*

This request is being heard concurrently with an annexation request for the same property. The applicant requests this annexation and zoning amendment to expand the library to an adjacent site. At their meeting on July 19, 2022, the City Council gave direction to staff to proceed with the annexation request for the property. This zoning amendment and the annexation are scheduled to be voted on by the City Council on September 9, 2022.

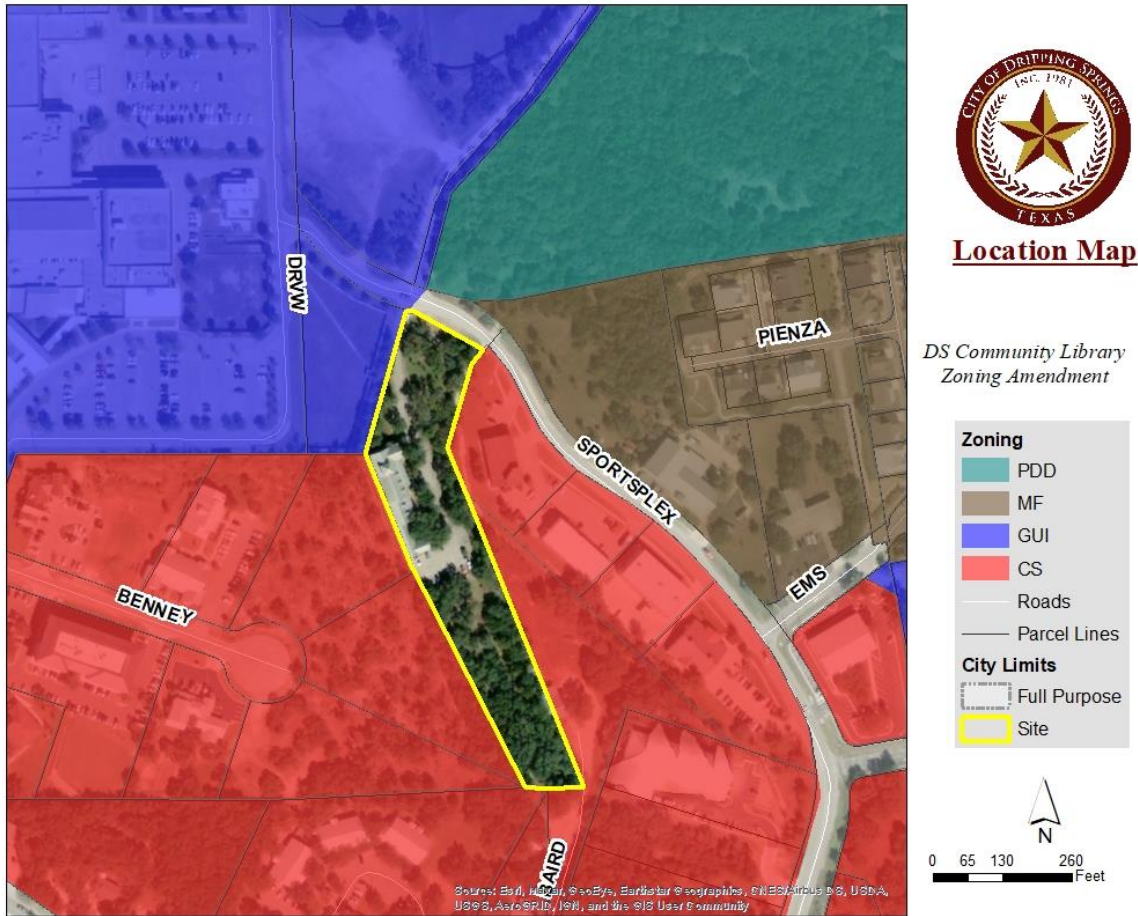
Analysis

Based on the adjacent zoning category and land uses, staff finds that the proposed zoning is compatible within the area.

Since the property is currently in the ETJ, staff finds it appropriate to compare ETJ standards with the requested zoning district.

	ETJ	CS	Differences between ETJ & SF-2
Max Height	Not regulated	2 stories / 40 feet	Restricted 2 stories / 40 feet
Min. Lot Size	.75 acres*	8,00 square feet	0.57 acres less
Min. Lot Width	30 feet	80 feet	50 feet more
Min. Lot Depth	unregulated	100 feet	100 feet
Min. Front/Side/Rear Yard Setbacks	10 feet / 5 feet / 5 feet	25 feet / 15 feet / 25 feet	15 feet / 10feet / 20 feet more
Impervious Cover	35%	70%	35% more

Surrounding Properties



The current zoning and existing uses of the adjacent properties to the north, south, east, and west are outlined in the table below:

Direction	Zoning District	Existing Use	Future Land Use
North	PDD / MF	Heritage / Single family residences	Not identified on the Future Land Use Map
East	CS	Various Office	
South	CS	Various Office	
West	CS / GUI	Various Office / Dripping Springs High School	

Approval Criteria for Zoning Amendment (Chapter 30 Zoning, Exhibit A, Sec 2.28.1 and 2.28.2)

2.28.2 The Planning & Zoning Commission and the City Council shall consider the following factors:

Factors	Staff Comments
1. whether the proposed change will be appropriate in the immediate area concerned;	This zoning change is consistent with existing development in the area.
2. their relationship to the general area and the City as a whole;	This zoning change would allow for various office / retail uses and could allow for the expansion of the existing library.
3. whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;	The property is not within any existing or proposed City Plans.
4. the amount of undeveloped land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such undeveloped land unavailable for development;	This request would not make other land unavailable for development.
5. the recent rate at which land is being developed in the same zoning classification, particularly in the vicinity of the proposed change;	Land with the same zoning classification has been developing rapidly.
6. how other areas designated for similar development will be, or are unlikely to be, affected if the proposed amendment is approved;	No areas designated for commercial development will be affected by this proposed amendment.
7. whether the proposed change treats the subject parcel of land in a manner which is significantly different from decisions made involving other, similarly situated parcels; and	Approval of this zoning amendment would not be significantly different from decisions made involving other similar parcels.
8. any other factors which will substantially affect the public health, safety, morals, or general welfare.	The rezoning does not negatively affect the public health, safety, morals, or general welfare.

Staff Recommendation

Staff recommends **approval** of the zoning amendment as presented.

Planning and Zoning action:

2.34.1 *The P&Z shall hold a public hearing on a zoning an amendment to the Zoning Ordinance. After all public input has been received and the public hearing closed, the P&Z shall make its recommendations on the proposed zoning request and concept plan, if submitted, stating its findings, its overall evaluation of the request, and its assessment regarding how the request relates to the City's Comprehensive Plan. The P&Z may, on its own motion or at the applicant's request, defer its decision recommendations until it has had an opportunity to consider other information or proposed modifications to the request which may have a direct bearing thereon. If the P&Z elects to postpone or defer its hearing on the request, such action shall specifically state the time period of the postponement by citing the meeting date whereon the request will reappear on the P&Z's agenda.*

2.34.2 *When the P&Z is ready to act upon the zoning request, it may recommend:*

- (a) *approval of the request as it was submitted by the applicant;*
- (b) *approval of the request subject to certain conditions as in the case of a Planned Development District (PDD) or a Conditional Use Permit (CUP); or*
- (c) *disapproval of the request.*

2.34.3 *The P&Z's recommendation will be automatically forwarded to the City Council for a second public hearing thereon.*

Public Notification

A legal notice advertising the public hearing was placed in the Dripping Springs Century-News, signs were posted on the-site, notice was placed on the City Website, and all property owners within a 300-foot radius of the site were notified of the zoning map amendment. To date, no letters for or against the request have been received.

Attachments

Exhibit 1 – Zoning Amendment Application

Recommended Action:	Recommend approval of the requested Zoning Amendment
Alternatives/Options:	Recommend denial of the zoning map amendment.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



DRIPPING SPRINGS
Texas

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

ZONING/PDD AMENDMENT APPLICATION

Case Number (staff use only): _____ - _____

CONTACT INFORMATION

PROPERTY OWNER NAME Dripping Springs Community Library (Bob Richardson, V.P. Board of Directors)

STREET ADDRESS 501 Sportsplex Drive

CITY Dripping Springs STATE Texas ZIP CODE 78620

PHONE 512-750-4921 EMAIL bob.richardson@dscl.org

APPLICANT NAME Bob Richardson, Vice President Board of Directors

COMPANY Dripping Springs Community Library

STREET ADDRESS 501 Sportsplex Drive

CITY Dripping Springs STATE Texas ZIP CODE 78620

PHONE 512-750-4921 EMAIL bob.richardson@dscl.org

REASONS FOR AMENDMENT

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	Dripping Springs Community Library
PROPERTY ADDRESS	501 Sportsplex Drive, Dripping Springs, TX
CURRENT LEGAL DESCRIPTION	See enclosed deed
TAX ID#	R62269
LOCATED IN	<input type="checkbox"/> CITY LIMITS <input checked="" type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	N.A.
REQUESTED ZONING/AMENDMENT TO PDD	CS Commercial Services
REASON FOR REQUEST <i>(Attach extra sheet if necessary)</i>	The Library property is the only property in the area not zoned. All adjacent properties are zoned commercial services. Also, the Library would like city services.
INFORMATION ABOUT PROPOSED USES <i>(Attach extra sheet if necessary)</i>	Current use is the Community Library. Proposed uses may include ongoing Library use or be converted to Office/Commercial uses when a new Library is built on the adjacent land, owned by the Library.

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? *
(See attached agreement).

YES (REQUIRED)* YES (VOLUNTARY)* NO* **(EXISTING IMPROVEMENTS, BUILDING, PARKING)**

* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is mandatory. If proposed subdivision is in the ETJ, compliance is mandatory when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria *(see Outdoor Lighting tab on the CODS webpage and online Lighting Ordinance under Code of Ordinances tab for more information).*

APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that Bob Richardson is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process.
(As recorded in the Hays County Property Deed Records, Vol. 1140, Pg. 285.)

BOB RICHARDSON / *Bob Richardson*
Name

VICE PRESIDENT
Title

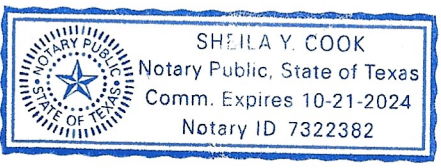
STATE OF TEXAS §
 §
COUNTY OF HAYS §

This instrument was acknowledged before me on the 20 day of April,
2022 by Bob Richardson.

Sheila Y. Cook
Notary Public, State of Texas

My Commission Expires: 10/20/2024

Bob Richardson
Name of Applicant



ZONING AMENDMENT SUBMITTAL

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be accepted. By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:

Bob Richards
Applicant Signature

7/20/2022
Date

CHECKLIST

STAFF	APPLICANT	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment (refer to Fee Schedule)
		<u>PDF/Digital Copies of all submitted Documents</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	When submitting digital files, a cover sheet must be included outlining what digital contents are included.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (required if marked "Yes (Required)" on above Lighting Ordinance Section of application)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input type="checkbox"/>	<input type="checkbox"/>	Concept Plan (EXISTING BUILDING, DRIVE AND PARKING)
<input type="checkbox"/>	<input type="checkbox"/>	Plans
<input type="checkbox"/>	<input type="checkbox"/>	Maps
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevation
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request (attach extra sheets if necessary)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses (attach extra sheets if necessary)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign (refer to Fee Schedule)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Planned Development District (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment



Planning & Zoning Commission Planning Department Staff Report

Planning & Zoning Commission Meetings: August 23, 2022

Project No: ZA20221-0005

Project Planner: Tory Carpenter, AICP - Senior Planner

Item Details

Project Name: Quik Trip Conditional Overlay Amendment

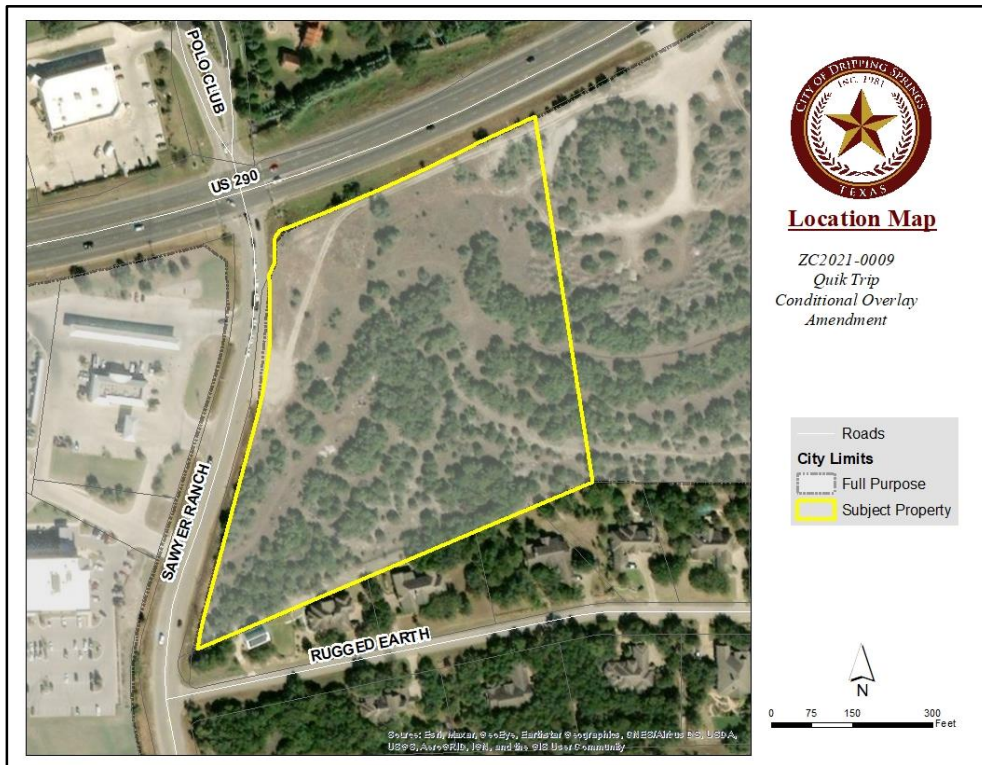
Property Location: Southeast Corner of US 290 & Sawyer Ranch Road

Legal Description: 10.0 acres of land out of tract A of the Sawyer Springs Subdivision

Applicant: JD Dudley; QuikTrip Corporation

Property Owner: QuikTrip Corporation

Request: An amendment to the existing Shops at Highpointe Conditional Overlay (Ordinance No. 1220.20)



Background

The property is currently zoned GR, General Retail.

Per Ch. 30 Exhibit A, §3.5-3.6

- **GR – General Retail:** *The GR, general retail district is established to provide areas for retail facilities that are larger than those generally located in the local retail district, such as large grocery stores, book stores, and the like. Areas zoned for general retail should have convenient regional access via major thoroughfares, such as U.S. Highway 290 or Ranch Road 12, and major collector streets are primary locational considerations. Hotel/motel uses, community scale retail, and bed-and-breakfasts are permitted within general retail districts. Office uses, commercial services, and industrial uses shall not be permitted.*

The original Shops at Highpointe Conditional Overlay (Ordinance No. 1220.20) was approved August 2007. Among other restrictions, this Conditional Overlay prohibits gas stations; a use which is allowed in General Retail Zoning districts. The property owner purchased the property in 2018 with the understanding that there were no further use restrictions beyond General Retail zoning district.

In 2019 the applicant applied for a similar amendment which was ultimately denied by the City Council on September 10, 2019.

In 2021, the applicant again applied for a similar amendment which received a unanimous recommendation of denial from the Planning & Zoning Commission. The applicant withdrew the request prior to City Council action.

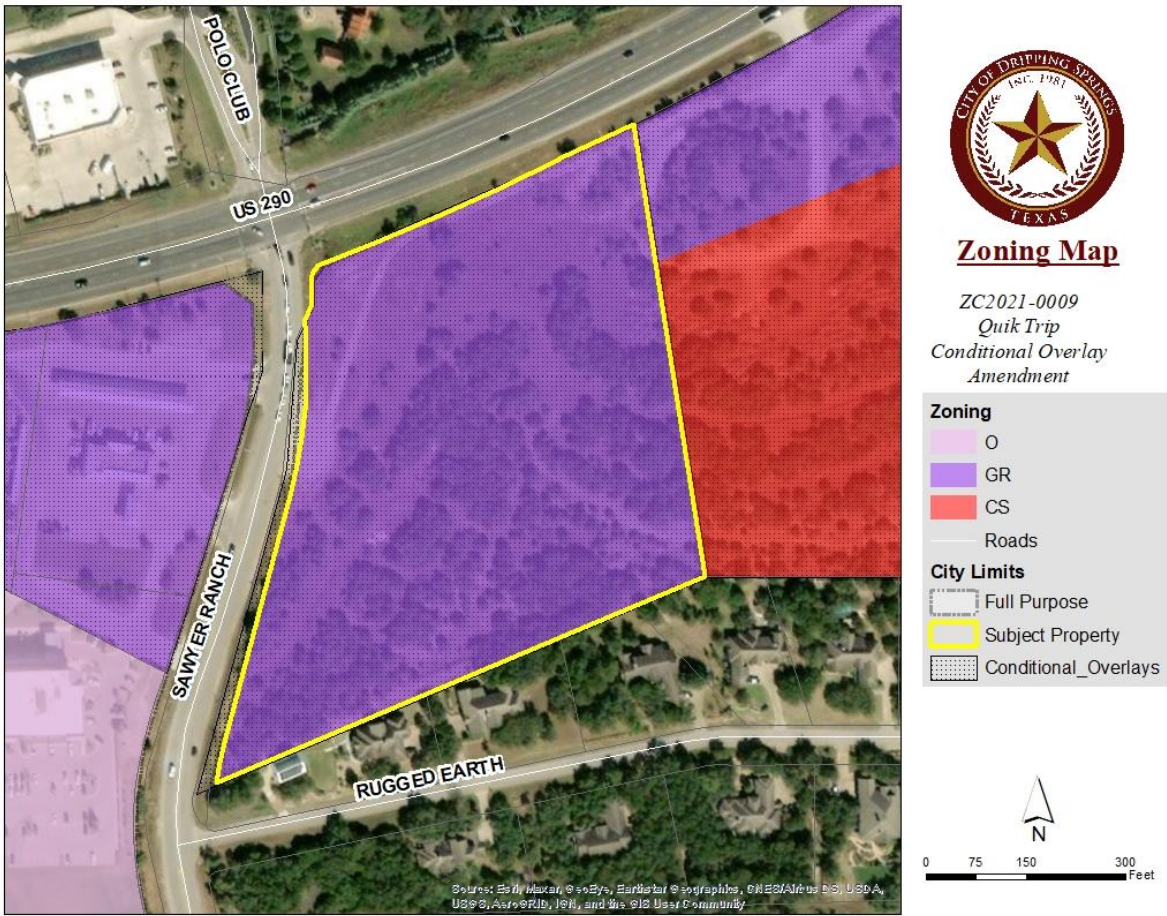
Analysis

This amendment would allow the proposed land use and not remove any other restrictions or buffer requirements. Additionally, the proposed amendment would increase the rear setback from 70 feet to 300 feet.

Based on the zoning category and adjacent land uses, staff finds that the proposed use is compatible with the area and that there are no special circumstances on the property that would call for the prohibition of the proposed land use. Additionally, there is an added safety benefit for this type of use being accessed via Sawyer Ranch Road which is a signalized intersection.

	Existing Conditional Overlay	Proposed Overlay	Difference Between Existing and Proposed
Rear Setback	70'	300'	230' increase
Building Height	One Story	One Story	No Change
Prohibited Uses	<ul style="list-style-type: none"> • Dry Cleaning Plant • Gas Station • Convenience Store w/ gas sales. 	<ul style="list-style-type: none"> • Dry Cleaning Plant 	Convenience Store w/ gas sales.

Surrounding Properties



The current zoning and existing uses of the adjacent properties to the north, south, east, and west are outlined in the table below:

Direction	Zoning District	Existing Use	Future Land Use
North	ETJ	US 290 / Polo Club Subdivision	Not Shown on the Future Land Use Map
East	General Retail / Commercial Services	Vacant	
South	ETJ	Blue Sky Ranch Subdivision	
West	General Retail	Gas Station	

Approval Criteria for Zoning Amendment (Chapter 30 Zoning, Exhibit A, Sec 2.28.1 and 2.28.2)

2.28.2 The Planning & Zoning Commission and the City Council shall consider the following factors:

Factors	Staff Comments
1. whether the proposed change will be appropriate in the immediate area concerned;	The proposed change appears to be appropriate in the immediate area of concern. It is adjacent to another gas station and the applicant is providing a significant buffer to adjacent single-family residences.
2. their relationship to the general area and the City as a whole;	This property has frontage on US 290 and is zoned General Retail. This is consistent with the general area and City as a whole.
3. whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;	The property is not within any existing or proposed City Plans.
4. the amount of undeveloped land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such undeveloped land unavailable for development;	This request is for a conditional overlay and is specific to this project.
5. the recent rate at which land is being developed in the same zoning classification, particularly in the vicinity of the proposed change;	This request is for a conditional overlay and is specific to this project.
6. how other areas designated for similar development will be, or are unlikely to be, affected if the proposed amendment is approved;	No areas designated for similar development will be affected by this proposed amendment.
7. whether the proposed change treats the subject parcel of land in a manner which is significantly different from decisions made involving other, similarly situated parcels; and	The current restriction on the site is the result of treating the property differently from other, similarly situated parcels; this proposed change seeks to re-establish parity with those other parcels.
8. any other factors which will substantially affect the public health, safety, morals, or general welfare.	The rezoning does not affect the public health, safety, morals, or general welfare.

Staff Recommendation

Staff recommends **approval** of the amended Conditional Overlay as presented.

Planning and Zoning action:

2.34.1 *The P&Z shall hold a public hearing on a zoning an amendment to the Zoning Ordinance. After all public input has been received and the public hearing closed, the P&Z shall make its recommendations on the proposed zoning request and concept plan, if submitted, stating its findings, its overall evaluation of the request, and its assessment regarding how the request relates to the City's Comprehensive Plan. The P&Z may, on its own motion or at the applicant's request, defer its decision recommendations until it has had an opportunity to consider other information or proposed modifications to the request which may have a direct bearing thereon. If the P&Z elects to postpone or defer its hearing on the request, such action shall specifically state the time period of the postponement by citing the meeting date whereon the request will reappear on the P&Z's agenda.*

2.34.2 *When the P&Z is ready to act upon the zoning request, it may recommend:*

- (a) *approval of the request as it was submitted by the applicant;*
- (b) *approval of the request subject to certain conditions as in the case of a Planned Development District (PDD) or a Conditional Use Permit (CUP); or*
- (c) *disapproval of the request.*

2.34.3 *The P&Z's recommendation will be automatically forwarded to the City Council for a second public hearing thereon.*

Public Notification

A legal notice advertising the public hearing was placed in the Dripping Springs Century-News, signs were posted on the-site, notice was placed on the City Website, and all property owners within a 300-foot radius of the site were notified of the zoning map amendment. To date, no letters for or against the request have been received.

Attachments

Exhibit 1 – Conditional Overlay Amendment Application

Exhibit 2 – Proposed Ordinance & Survey

Recommended Action:	Recommend approval of the requested Conditional Overlay Amendment
Alternatives/Options:	Recommend denial of the zoning map amendment.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



QT 4133 Zoning Amendment

Letter of Intent

Purpose: The purpose of this submittal is to allow for the development of an 9.730-acre tract of land for the purpose of constructing a 4,993 SF convenience store with retail motor fuel sales and for multiple retail pad sites. The provisions of the GB Zoning District and all other applicable regulations as stated in the City of Dripping Springs' Zoning Ordinance shall govern this tract of land.

Proposed Use: The property is currently zoned GB. QuikTrip is proposing to construct and operate a 4,993 SF 24-hour Convenience Store with Beer and Wine Sales for off-premises consumption only and retail motor fuel sales. The proposed project is consistent with the City's Master Plan and our use is will also promote future development to currently vacant land.

Request: QuikTrip is respectfully requesting that the city amend the overlay to remove the deed restrictions on the property that prohibit convenience stores and convenience stores with gasoline sales. **We are also proposing to increase the rear setback from 70' to 300' and to put in place a 200' natural non habitable structure setback.**

Our development will provide a family oriented, clean and modern facility for the citizens of Schertz. We provide many of the items you will find in your larger grocery stores, with very similar pricing. We are also making great strides in the food industry with our addition of

QuikTrip Kitchens. QuikTrip takes great pride in our employees and our stores. We build our facilities to last fifty years and we put in the time and care to ensure that they do. We have an in-house Facility Support team that maintains our stores daily. They are called on to maintain everything from landscaping, coffee/cappuccino machines, paving, and all other aesthetic and mechanical features of the store.

As previously stated, we are a family-oriented business. QuikTrip does not sell any drug paraphernalia or inappropriate magazines. QuikTrip is a place where you can bring the entire family and you will always receive fast and friendly customer service.

We believe that our application meets all City requirements and that the project achieves very high level of site quality, exceptional architectural building design, and quality landscaping. The building represents the latest architectural design in convenience store facilities including innovative marketing components, such as a personal "barista" to prepare custom coffee beverages typically only found at "specialty coffee outlets". A complete palate of building materials is available if needed.

I will be pleased to meet with you or your staff to discuss this matter as requested. Your consideration and support in these matters will be greatly appreciated. We stand ready to assist in your review.

Best regards,



JD Dudley | QuikTrip Corporation | Real Estate Project Manager II
742 NW Loop 410 Suite 102 | San Antonio, TX 78216
O: 210.332.4036 | C: 469.766.8331



City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

ZONING/PDD AMENDMENT APPLICATION

Case Number (staff use only): _____-_____

CONTACT INFORMATION

PROPERTY OWNER NAME QuikTrip Corporation

STREET ADDRESS 742 NW Loop 410 Suite 102

CITY San Antonio STATE TX ZIP CODE 78216

PHONE 830.500.9323 EMAIL jdudley@quiktrip.com

APPLICANT NAME JD Dudley

COMPANY QuikTrip Corporation

STREET ADDRESS 742 NW Loop 410 Suite 102

CITY San Antonio STATE TX ZIP CODE 78216

PHONE 830.500.9323 EMAIL jdudley@quiktrip.com

REASONS FOR AMENDMENT

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	QuikTrip Corporation
PROPERTY ADDRESS	SWC of Hwy 290 & Sawyer Ranch Rd.
CURRENT LEGAL DESCRIPTION	See attached.
TAX ID#	73-0675375
LOCATED IN	<input checked="" type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	GB
REQUESTED ZONING/AMENDMENT TO PDD	Allow for a convenience store with fuel sales
REASON FOR REQUEST <i>(Attach extra sheet if necessary)</i>	See attached letter of intent
INFORMATION ABOUT PROPOSED USES <i>(Attach extra sheet if necessary)</i>	See attached letter of intent

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? *
(See attached agreement).

YES (REQUIRED)* YES (VOLUNTARY)* NO*

* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver. Voluntary compliance is strongly encouraged by those not required by above criteria *(see Outdoor Lighting tab on the CODS webpage and online Lighting Ordinance under Code of Ordinances tab for more information).*

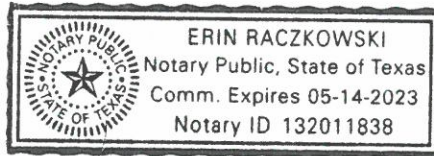
APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that JD Dudley is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process. Instrument # 18208144
(As recorded in the Hays County Property Deed Records, Vol. _____, Pg. _____.)

JD Dudley
Name

Real Estate Project Manager
Title

STATE OF TEXAS §
COUNTY OF HAYS §



This instrument was acknowledged before me on the 18 day of September, 2021 by JD Dudley.

Erin Raczkowski
Notary Public, State of Texas

My Commission Expires: 5/14/2023

JD Dudley
Name of Applicant

ZONING AMENDMENT SUBMITTAL

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:


 Applicant Signature

3/11/22
 Date

CHECKLIST

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PDF/Digital Copies of all submitted Documents
<input type="checkbox"/>	<input checked="" type="checkbox"/>	When submitting digital files, a cover sheet must be included outlining what digital contents are included.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (<i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Concept Plan
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plans
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Maps
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architectural Elevation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Planned Development District (<i>if applicable</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment

Received on/by: _____

Project Number: _____ - _____
Only filled out by staff



DRIPPING SPRINGS
Texas

BILLING CONTACT FORM

Project Name: QT 4133

Project Address: SWC of Hwy 290 & Sawyer Ranch Rd.

Project Applicant Name: QuikTrip Corporation - JD Dudley

Billing Contact Information

Name: JD Dudley

Mailing Address: 742 NW Loop 410 Suite 102

San Antonio, TX 78216

Email: jdudley@quiktrip.com Phone Number: 830.500.9323

Type of Project/Application (check all that apply):

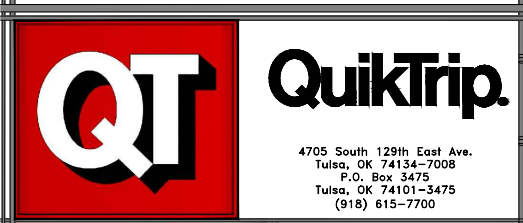
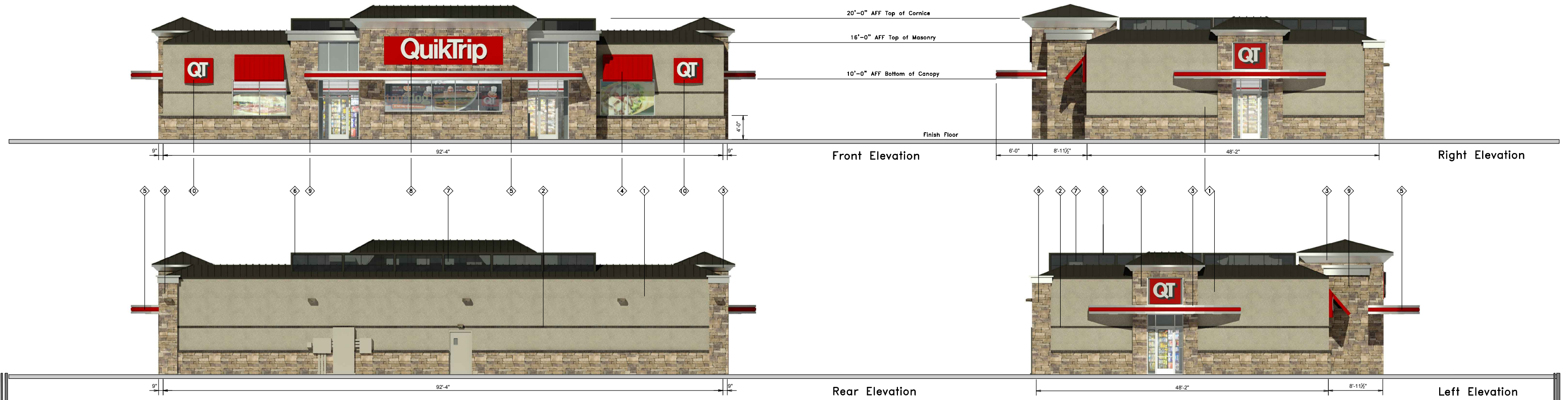
- Alternative Standard
- Certificate of Appropriateness
- Conditional Use Permit
- Development Agreement
- Exterior Design
- Landscape Plan
- Lighting Plan
- Site Development Permit
- Special Exception
- Street Closure Permit
- Subdivision
- Waiver
- Wastewater Service
- Variance
- Zoning
- Other _____

*Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. **Please see the online Master Fee Schedule for more details.** By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*


Signature of Applicant

3/11/22
Date

	TOTAL	MASONRY
FRONT FACADE:	858 SF	639 SF
PERCENTAGE		75%



Store #	4133	G3S Custom w/ Tan Eifs, Hip Roofs, Additional front glazing, & Stacked Stone
Serial #	82-4133-G3S2	Scale: 1/16"=1'-0"
Issue Date:	12.18.17	Drawn By: JK

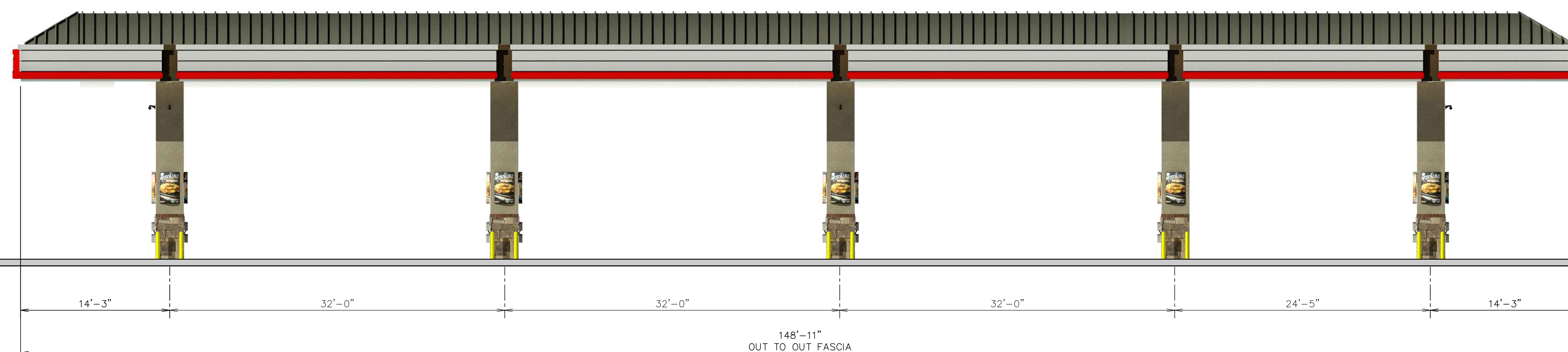
Address:	SEC Sawyer Ranch Rd & Hwy 290	City, State:	Dripping Springs, TX
Rev/Notes:			

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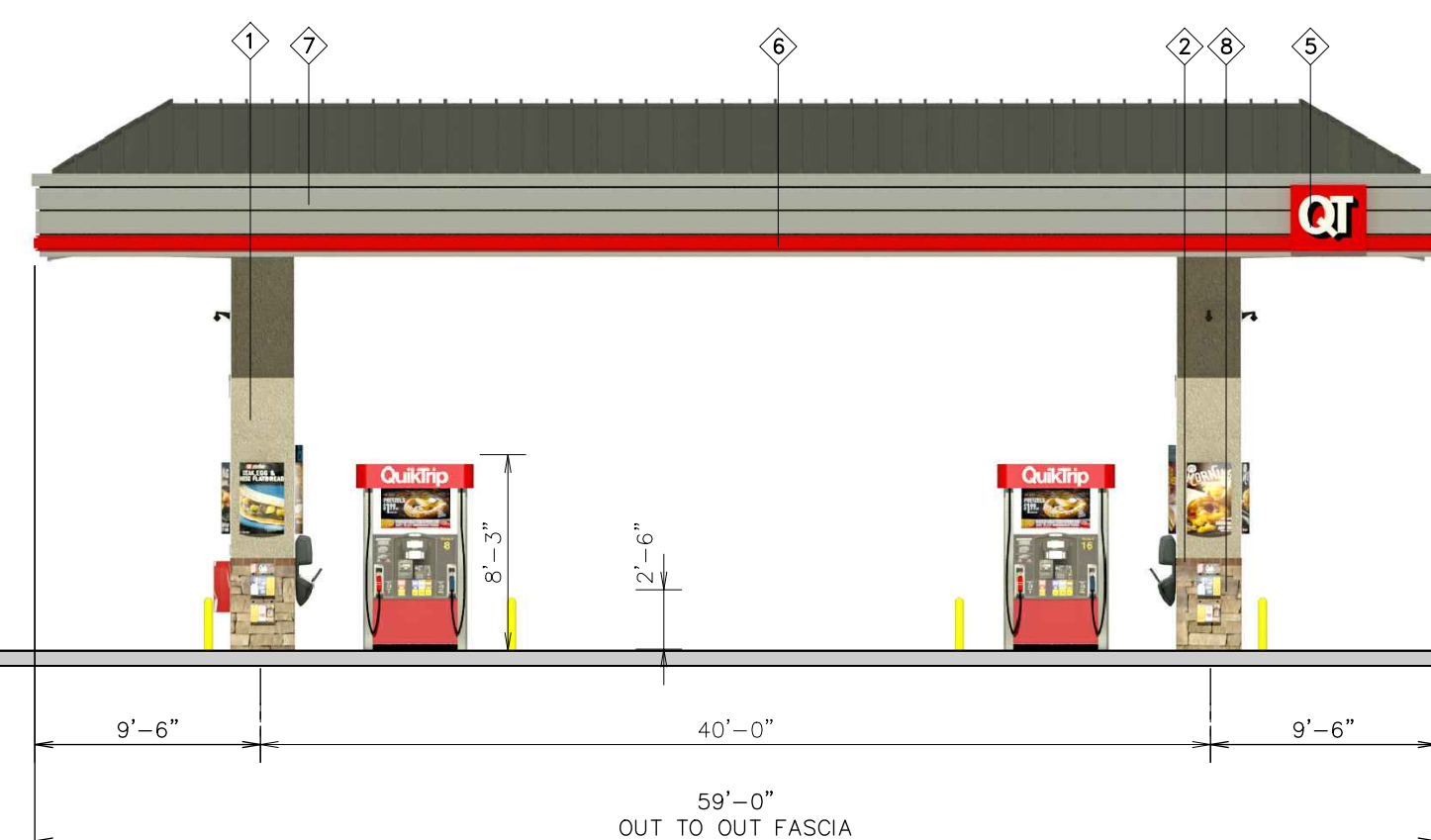
FINISH	MANUFACTURER	SPECIFICATION
1 WHEAT	STO	A100G EIFS
2 MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3 HILZ ALUMINUM	ALPOLIC	FASCIA
4 QT RED	LANE	STANDING SEAM AWNING
5 RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
6 DARK BRONZE	LANE	METAL PAINT
7 BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
8 CL-60R (Custom)	ALLEN INDUSTRIES	SIGNAGE
9 SONOMA	GLEN GERY	STACKED STONE
10 IDB-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE

APPROVED

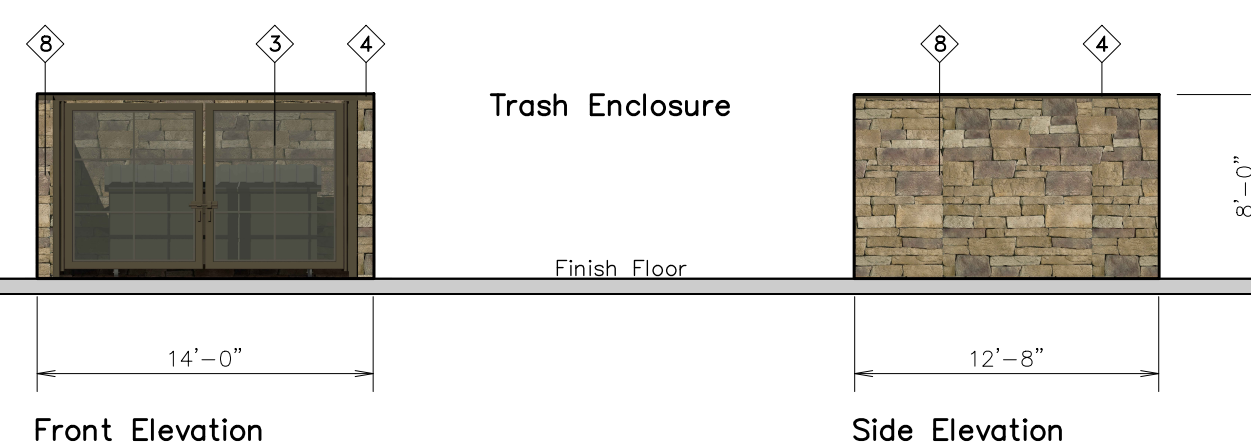
03/07/2019



Front Elevation



Left Elevation



Front Elevation

Side Elevation



Right Elevation

18'-6" Min. / 22'-6" Max.
 AFF Top of Canopy
 15'-0" Min. Store Side Canopies / 19'-0" Max.
 17'-0" Min. Store Front Canopies / 19'-0" Max.
 AFF Bottom of Canopy



QuikTrip.

4705 South 129th East Ave.
 Tulsa, OK 74134-7008
 P.O. Box 3475
 Tulsa, OK 74101-3475
 (918) 615-7700

Store # **4133** Custom Gas Canopy w/ Tan Eifs, & Sonoma Stacked Elevations

Address: **SEC Sawyer Ranch Rd & Hwy 290**

City, State: **Dripping Springs, TX**

Serial # **82-4133-GD09**

Scale: **1/8" = 1'-0"**

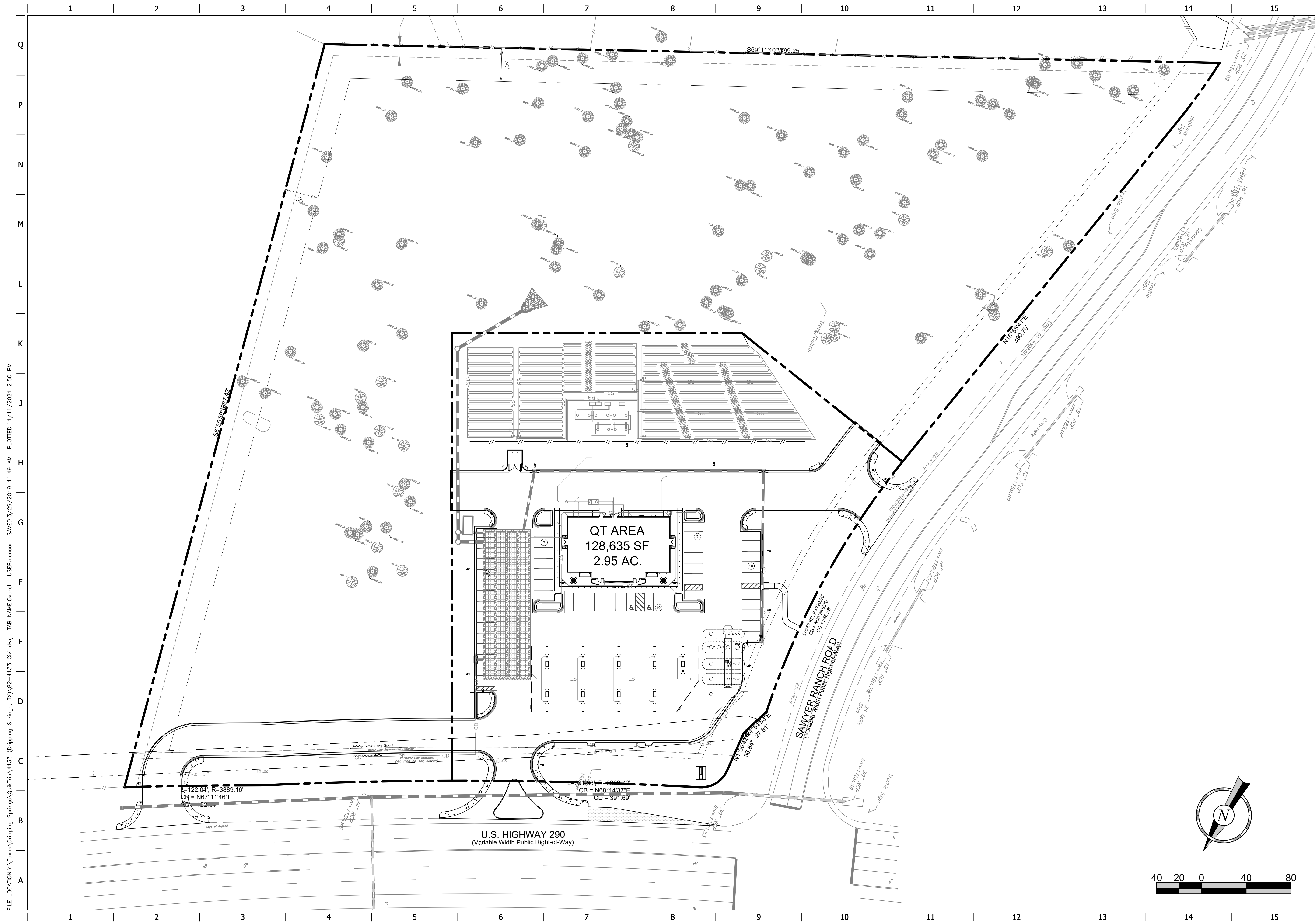
Issue Date: **03.07.19**

Drawn By: **JK**

Rev/Notes:

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①	FINISH	MANUFACTURER	SPECIFICATION
1	WHEAT	ISTO	A100G EIFS
2	MIDNIGHT	INTERSTATE BRICK	ALIAS STRUCTURAL BRICK
3	BLACK	ALL COURT FABRICS	POIPIPO 315 MESH
4	DARK BRONZE	LANE	METAL PAINT
5	IDC-9	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
6	REV POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
7	114'-ALUMINUM	ALPOLO	CANOPY
8	SONOMA	GLEN GERY	STACKED STONE



FILE LOCATION: \\Texas\Drilling Springs\QuikTrip\4133 (Drilling Springs, TX)\82-4133 Civil.dwg TAB NAME: Overall USER: edensar SAVE: 03/29/2019 11:49 AM PLOTTED: 11/11/2021 2:50 PM

ISSUE DATE: 03/08/2019
FREELAND and KALFMAN, INC.
 200 West Main Street, Suite 200
 Dripping Springs, TX 78620
 Phone: 512-265-2004
 Texas Registered Engineering Firm #6651

QuikTrip No. 4133
 SEC OF HWY 290 & SAWYER RANCH ROAD
 DRIPPING SPRINGS, TX


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 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.
 PROTOTYPE: P-97 (02/04/2019)
 DIVISION:
 VERSION: 001
 DESIGNED BY: DE
 DRAWN BY: DE
 REVIEWED BY: CG

REV	DATE	DESCRIPTION	ORIGINAL ISSUE DATE:

SHEET TITLE:
 OVERALL PLAN
 SHEET NUMBER:
C101

CITY OF DRIPPING SPRINGS

ORDINANCE No. _____

AN ORDINANCE OF THE CITY OF DRIPPING SPRINGS, TEXAS (“CITY”), ADOPTING A CONDITIONAL USE OVERLAY; AND PROVIDING FOR THE FOLLOWING: FINDINGS OF FACT; ENACTMENT; REPEALER; SEVERABILITY; EFFECTIVE DATE; AUTHORIZING THE CITY ADMINISTRATOR TO NOTE THE CHANGE ON THE OFFICIAL ZONING MAP OF THE CITY; PROPER NOTICE & MEETING.

WHEREAS, the City Council of the City of Dripping Springs (“City Council”) seeks to promote orderly land use and development within the City; and

WHEREAS, the subject tract is currently zoned General Retail (GR).

WHEREAS, the City Council finds to be reasonable and necessary the adoption of an amended conditional use overlay to the tracts in addition to the rezoning, described more fully in *Attachment "B"* and totaling approximately 9.730 acres; and

WHEREAS, the City Council recognizes changed conditions and circumstances in the particular location; and

WHEREAS, the City Council finds that the zoning change is compatible with the surrounding area and with the City’s Zoning Ordinance and Comprehensive Plan; and

WHEREAS, after notice and hearing required by law, a public hearing was held before the Dripping Springs Planning and Zoning Commission on November 23, 2021 to consider the proposed amendment and the Planning and Zoning Commission recommended approval of the proposed change; and

WHEREAS, after public hearing held by the City Council on December 21, 2021, the City Council voted to approve the recommendation of the Planning and Zoning Commission; and

WHEREAS, pursuant to Texas Local Government Code Section 51.001, the City has general authority to adopt an ordinance or police regulation that is for the good government, peace or order of the City and is necessary or proper for carrying out a power granted by law to the City; and

WHEREAS, pursuant to Chapter 211 of the Texas Local Government Code, the City has the authority to zone and rezone property; and

WHEREAS, the City Council finds that it is necessary and proper for the good government, peace or order of the City of Dripping Springs to adopt this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Dripping Springs:

1. FINDINGS OF FACT

The foregoing recitals are incorporated into this Ordinance by reference as findings of fact as expressly set forth herein.

2. ENACTMENT

A tract of land totaling approximately 9.730 acres and described more fully in *Attachment "A"*, will have a conditional use overlay that limits certain development standards on the property. The use overlay is described in *attachment "B"*.

3. REPEALER

All ordinances, resolutions, or parts thereof, that are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters regulated, herein.

4. SEVERABILITY

Should any of the clauses, sentences, paragraphs, sections or parts of this Ordinance be deemed invalid, unconstitutional, or unenforceable by a court of law or administrative agency with jurisdiction over the matter, such action shall not be construed to affect any other valid portion of this Ordinance.

5. EFFECTIVE DATE

This Ordinance shall be effective immediately upon passage.

6. PROPER NOTICE & MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, a public hearing was held, and that public notice of the time, place and Purpose of said hearing and meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551.

PASSED & APPROVED this, the ___ day of _____ 2021, by a vote of _____(ayes) to _____(nays) to _____(abstentions) of the City Council of Dripping

Springs, Texas.

CITY OF DRIPPING SPRINGS:

by: _____

Bill Foulds, Jr., Mayor

ATTEST:

Andrea Cunningham, City Secretary

DRAFT

Attachment "A" Survey and Metes and Bounds

PARCEL DESCRIPTION:

BEING A 9.730 ACRE TRACT OF LAND OUT OF TRACT A OF THE SAWYER SPRINGS SUBDIVISION (VOL. 12, PG. 239-240, PRHCT), AS SITUATED IN HAYS COUNTY, TEXAS, SAID 9.730 ACRES OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND IRON PIN ON THE MITER FORMING THE INTERSECTION OF THE EASTERLY MARGIN OF THE RIGHT-OF-WAY OF SAWYER RANCH ROAD (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) AND THE SOUTHERLY MARGIN OF THE RIGHT-OF-WAY OF U.S. HIGHWAY 290 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) HAVING TX SC GRID COORDINATES OF N 13,984,053.021, E 2,285,346.263; THENCE ALONG THE SOUTHERLY MARGIN OF THE RIGHT-OF-WAY OF U.S. HIGHWAY 290 (FOR THE FOLLOWING TWO CALLS) (1) ALONG A COUNTERCLOCKWISE CURVE FOR 391.86 FEET HAVING A RADIUS OF 3,889.72 FEET A CHORD BEARING OF N68°14'37"E AND A CHORD DISTANCE OF 391.69 FEET TO A FOUND IRON PIN, (2) THENCE ALONG A COUNTERCLOCKWISE CURVE FOR 122.04 FEET HAVING A RADIUS OF 3,889.16 FEET A CHORD BEARING OF N67°11'46"E AND A CHORD DISTANCE OF 122.04 FEET TO A FOUND IRON PIN, THENCE ALONG THE COMMON LINE OF KERNJOON, LLC S06°55'59"E A DISTANCE OF 687.42 FEET TO A FOUND IRON PIN, THENCE ALONG THE COMMON LINES OF SEAL, DARLING, MOYER, AND SIMMONS S69°11'40"W A DISTANCE OF 799.25 FEET TO A FOUND IRON PIN, THENCE ALONG THE EASTERLY MARGIN OF THE RIGHT-OF-WAY OF SAWYER RANCH ROAD (FOR THE FOLLOWING SIX CALLS) (1) ALONG A CLOCKWISE CURVE FOR 62.28 FEET HAVING A RADIUS OF 520.00 FEET A CHORD BEARING OF N13°36'03"E AND A CHORD DISTANCE OF 62.24 FEET TO A FOUND IRON PIN, (2) THENCE N16°55'41"E A DISTANCE OF 390.79 FEET TO A FOUND IRON PIN, (3) THENCE ALONG A COUNTERCLOCKWISE CURVE FOR 257.65 FEET HAVING A RADIUS OF 720.00 FEET A CHORD BEARING OF N06°36'55"E AND A CHORD DISTANCE OF 256.28 FEET TO A FOUND IRON PIN, (4) THENCE N24°54'53"E A DISTANCE OF 27.81 FEET TO A FOUND IRON PIN, (5) THENCE N01°50'42"E A DISTANCE OF 36.84 FEET TO A FOUND IRON PIN, (6) THENCE ALONG A CLOCKWISE CURVE FOR 30.30 FEET HAVING A RADIUS OF 25.00 FEET A CHORD BEARING OF N36°41'23"E AND A CHORD DISTANCE OF 28.48 FEET TO THE POINT OF BEGINNING AND CONTAINING 423,845 S.F. OR 9.730 ACRES MORE OR LESS.

DRAFT

Attachment "B"

City of Dripping Springs

CODE OF ORDINANCES

CHAPTER 30: ZONING

EXHIBIT A

1.1. Applicability

This Ordinance shall apply solely to the following tracts, which shall herein be referred to as the subject property;

Tract 1:

Approximately 10.0 acres of land, Tract A, Sawyer Springs Subdivision, recorded in Volume 12, Page 240, Plat Records, Hays County, Texas, less 0.27 acres of land donated to Hays County as right of way for Sawyer Ranch Road (located on the southeast corner of the intersection of Sawyer Ranch Road and US Hwy 290).

1.2. Base Zoning District

Except as provided in section 1.3 (below), the subject property shall be governed by the rules applying in General Retail – (GR) zoning district.

1.3. Overlay

1.3.1. The Conditional Overlay is hereby amended and effectuated upon the subject property. The boundary of the Overlay District shall be coterminous with the perimeter of the subject property.

1.3.2. The Overlay prohibits the following uses: dry cleaning plant.

1.3.3. The overlay mandates that the structures be limited to a single story.

1.3.4 The overlay mandates that the rear setback along the southern boundary shall be three hundred feet (300’).

CITY OF DRIPPING SPRINGS
CONDITIONAL OVERLAY

Shops at HighPointe

ORDINANCE NO. 1220.20

AN ORDINANCE OF THE CITY OF DRIPPING SPRINGS, AMENDING THE ZONING ORDINANCE VOLUME 2, ARTICLE 15, CHAPTER 23, SUBCHAPTER A, PART 7, ALTERING THE ZONING CLASSIFICATIONS OF CERTAIN REAL PROPERTY IN THE CITY LIMITS BY CREATING AND APPLYING A CONDITIONAL OVERLAY UPON THE DEVELOPMENT TO BE KNOWN AS THE SHOPS AT HIGHPOINTE, PARTICULARLY THE APPROXIMATELY 10.0 ACRES OF TRACT A, SAWYER SPRINGS SUBDIVISION, RECORDED IN VOLUME 12, PAGE 240, PLAT RECORDS, HAYS COUNTY, TEXAS, LESS 0.27 ACRES OF LAND DONATED TO HAYS COUNTY AS RIGHT OF WAY FOR SAWYER RANCH ROAD (LOCATED ON THE SOUTHEAST CORNER OF THE INTERSECTION OF SAWYER RANCH ROAD AND US HWY 290) UPON REQUEST OF THE PROPERTY OWNERS; CHANGING THE ZONING DISTRICT FROM AGRICULTURAL TO GENERAL RETAIL (GR); CREATING A CONDITIONAL OVERLAY TO EXPRESSLY INCORPORATE BY REFERENCE THE TERMS AND CONDITIONS OF A CERTAIN DEVELOPMENT AGREEMENT; AMENDING THE OFFICIAL ZONING MAP TO REFLECT CHANGES OF THE ZONING CLASSIFICATION OF CERTAIN PROPERTIES, PROVIDING FOR SEVERABILITY, AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the subject tract is currently zoned Agricultural (Ag), and the owners have requested to change the zoning district to General Retail (GR); and

WHEREAS, pursuant to Section 4 of the City’s Zoning Ordinance, the City Council may approve an overlay on a property being zoned; and

WHEREAS, the Conditional Overlay enacted by this Ordinance provides additional restrictions zoning regarding buffer zones, impervious cover, and open space; and

WHEREAS, the proposed changes were reviewed by City staff, including the City’s Land Planner, with the consensus being that the proposed changes are reasonable under the circumstances and consistent with the Interim Comprehensive Plan; and

WHEREAS, after notice and hearing required by law, a public hearing was held before the Dripping Springs Planning & Zoning Commission on the 28th day of August 2007, at which public testimony was received and information was considered for and against proposed changes in certain zoning classifications of certain property located in the City of Dripping Springs; and

WHEREAS, the Planning & Zoning Commission recommended approval of the proposed changes; and

WHEREAS, after public hearing held by the City Council on the 11th day of September 2007, the City Council voted to accept the recommendation of the Planning and Zoning Commission; and

WHEREAS, pursuant to Chapter 211 of the Texas Local Government Code, the City has the authority to zone and rezone property.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DRIPPING SPRINGS, TEXAS, THAT:

1. FINDINGS OF FACT

The foregoing recitals are incorporated into this Ordinance by reference as findings of fact as if expressly set forth herein.

2. ENACTMENT

Volume 2, Article 15, Chapter 23, Subchapter A, Part 7 of the City of Dripping Springs Code of Ordinances is hereby created, and after such enactment shall read in accordance with *Attachment A*, which is attached hereto and incorporated into this Ordinance for all intents and purposes.

3. CODIFICATION

The City Secretary is hereby directed to record and publish the attached rules, regulations and policies in the City's Code of Ordinances as authorized by Section 52.001 of the Texas Local Government Code.

4. REPEALER

All ordinances, or parts thereof, that are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters regulated, herein.

5. SEVERABILITY

Should any of the clauses, sentences, paragraphs, sections or parts of this Ordinance be deemed invalid, unconstitutional, or unenforceable by a court of law or administrative agency with jurisdiction over the matter, such action shall not be construed to affect any other valid portion of this Ordinance.

6. EFFECTIVE DATE

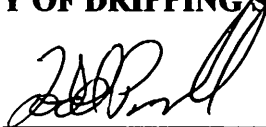
This Ordinance shall be effective immediately upon passage and publication.

7. PROPER NOTICE & MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapters 52 and 211 of the Texas Local Government Code.

PASSED & APPROVED this, the 11th day of August 2007, by a vote of 5 (ayes) to 0 (nays) to 0 (abstentions) of the City Council of Dripping Springs, Texas.

CITY OF DRIPPING SPRINGS:

by: 

Mayor Todd Purcell

ATTEST:



Jo Ann Touchstone, Assistant City Secretary

APPROVED AS TO FORM:
Alan J. Bojorquez, City Attorney

City of Dripping Springs

CODE OF ORDINANCES

VOLUME: 2

ARTICLE 15: DEVELOPMENT

CHAPTER 23: ZONING

SUBCHAPTER A: ZONING CLASSIFICATIONS

PART 7

1.1. Applicability

This Ordinance shall apply solely to the following tract, which shall herein be referred to as the subject property:

Approximately 10.0 acres of land, Tract A, Sawyer Springs Subdivision, recorded in Volume 12, Page 240, Plat Records, Hays County, Texas, less 0.27 acres of land donated to Hays County as right of way for Sawyer Ranch Road (located on the southeast corner of the intersection of Sawyer Ranch Road and US Hwy 290).

1.2. Base Zoning District

Except as provided in section 1.3 (*below*), the subject property shall be governed by the rules applying in the following zoning district: ***General Retail (GR)***.

1.3. Overlay

1.3.1. A Conditional Overlay is hereby created and effectuated upon the subject property.

1.3.2. The boundary of the Overlay shall be coterminous with the perimeter of the 10.0 acres described in Section 1.1 (above).

1.3.3. The Overlay incorporates by reference the Development Agreement entered into by the City and the Owner, Sawyer 290 Crossing, Ltd., dated April 23, 2007, in its entirety, and the exhibits thereto, attached to this Ordinance as *Exhibit A*.

1.3.4. The Overlay prohibits the following uses: dry cleaning plant; gas station; and convenience stores featuring gas stations.

1.3.5. The Overlay mandates that the southwest building be limited to a single story or twenty feet (20'), whichever is less, and the setbacks for buildings located near the rear southern boundary shall be seventy feet (70').

1.4. Zoning Map

The above Zoning Classification changes shall be made to the Official Zoning Map in conformance with the procedures set forth in the Zoning Ordinance.



Planning and Zoning Commission Planning Department Staff Report

Planning and Zoning Commission Meeting: August 23, 2021

Project No: ZA2022-0004

Project Planner: Tory Carpenter, AICP - Senior Planner

Item Details

Project Name: Van Merkel Property

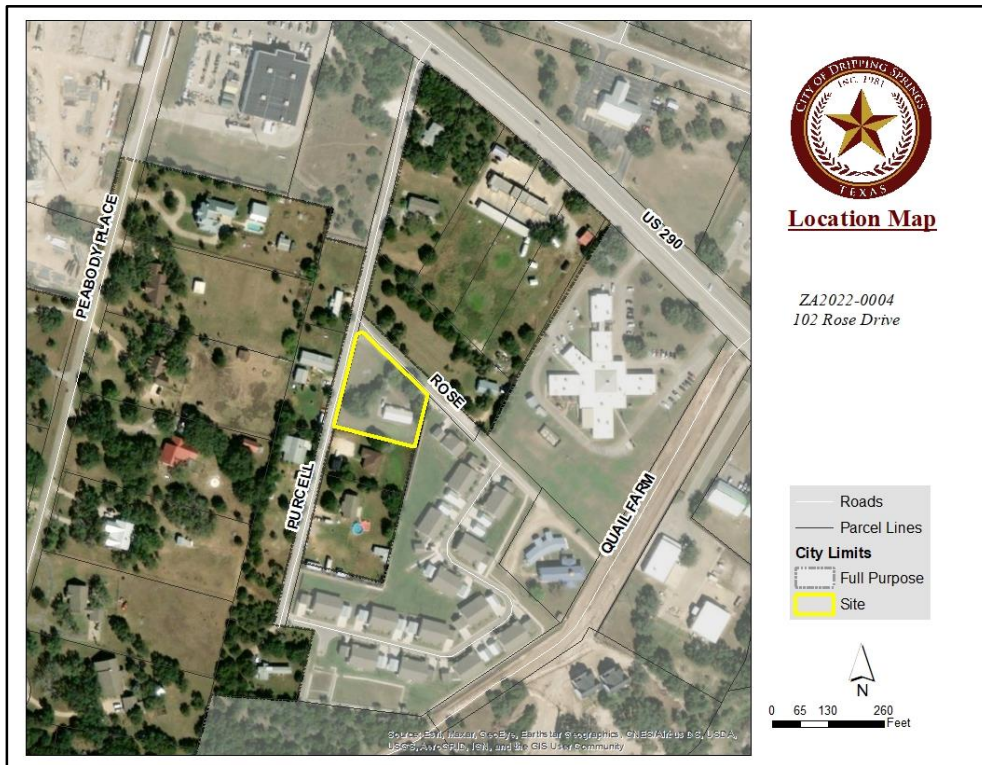
Property Location: 102 Rose Drive

Legal Description: Lot 1 Block 1 Van Merkel Addition

Applicant: Jon Thompson

Property Owner: Van Merkel, LLC

Request: A zoning map amendment from SF-4 Two-Family Residential – Duplex zone to MF Multiple Family with a conditional overlay



Background

The property is currently zoned SF-4, Two-Family Residential- Duplex.

Per Ch. 30 Exhibit A, §3.5-3.6

- **SF-4 Two-family residential – Duplex:** The SF-4, two-family residential district is intended to provide for development of detached, two-family residence structures on moderate size lots of at least 10,000 square feet in size.
- **MF Multiple Family Residential:** The MF, multiple-family residential district is an attached residential district intended to provide the highest residential density, that being of 24 dwelling units per acre. The principal permitted land uses will include low-rise apartment dwellings and garden homes. Recreational, religious, health and educational uses normally located to service residential areas are also permitted in this district. This district should be located adjacent to a major thoroughfare and may serve as a buffer between low or medium density residential development and nonresidential development or high-traffic roadways.

The applicant requests this zoning amendment to construct a total of six residential units in three separate buildings on the property. Since more than two units will be on a single property, the use is considered “multifamily” which is not allowed in SF-4.

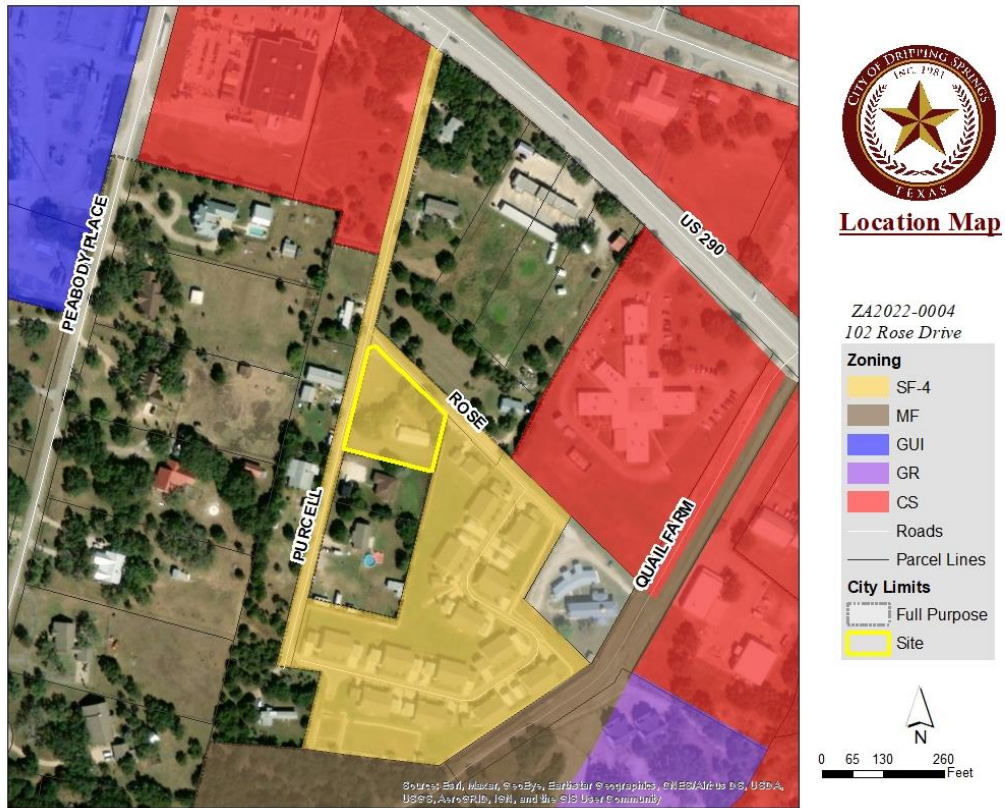
The property was annexed and zoned SF-4 in 2020. The supplemental materials provided with the application at that time indicated the applicant’s intentions to construct six units on the property.

Analysis

Based on the adjacent zoning category and land uses, staff finds that the proposed zoning with the conditional overlay is compatible within the area.

	SF-4	MF Conditional Overlay	Differences between SF-4 to Overlay
Units / Acre	8.7	6	2.7 units / acre less
Max Height	2.5 stories / 40 feet	1 story	1.5 stories
Min. Lot Size	10,000-sq-ft	20,000-sq-ft	10,000-sq-ft
Min. Lot Width	70 feet	60 feet	10 feet less
Min. Lot Depth	100 feet	N/A	N/A
Min. Front/Side/Rear Yard Setbacks	20 feet / 10 feet / 20 feet	20 feet / 15 feet / 25 feet	Same / 5 feet / 5 feet more
Impervious Cover	50%	60%	10% more

Surrounding Properties



The current zoning and existing uses of the adjacent properties to the north, south, east, and west are outlined in the table below:

Direction	Zoning District	Existing Use	Future Land Use
North	ETJ	Single-family	Medium Density Residential
East	MF-4	Duplexes	
South	ETJ	Single-family	
West	ETJ	Single-family	

Approval Criteria for Zoning Amendment (Chapter 30 Zoning, Exhibit A, Sec 2.28.1 and 2.28.2)

2.28.2 The Planning & Zoning Commission and the City Council shall consider the following factors:

Factors	Staff Comments
1. whether the proposed change will be appropriate in the immediate area concerned;	The proposed change from SF-4 to MF with a Conditional Overlay is an appropriate change. The Conditional Overlay allows duplexes consistent with other duplexes on Rose Drive.
2. their relationship to the general area and the City as a whole;	Staff worked with the applicant to provide a conditional overlay that complemented the area and the City as a whole.
3. whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;	The tracts are not within any existing or proposed City Plans.
4. the amount of undeveloped land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such undeveloped land unavailable for development;	This rezoning will not impact any undeveloped land in the vicinity with the same zoning district.
5. the recent rate at which land is being developed in the same zoning classification, particularly in the vicinity of the proposed change;	There is an influx of moderate-/high-density residential developments within the City of Dripping Springs.
6. how other areas designated for similar development will be, or are unlikely to be, affected if the proposed amendment is approved;	No areas designated for similar development will be affected by this proposed amendment.
7. whether the proposed change treats the subject parcel of land in a manner which is significantly different from decisions made involving other, similarly situated parcels; and	The proposed change does not treat the subject tracts of land in a manner which is significantly different from decisions made involving other, similarly situated parcels.
8. any other factors which will substantially affect the public health, safety, morals, or general welfare.	The rezoning does not affect the public health, safety, morals, or general welfare.

Staff Recommendation

Staff recommends approval of the rezoning request with the proposed Conditional Overlay.

Planning and Zoning action:

2.34.1 The P&Z shall hold a public hearing on a zoning an amendment to the Zoning Ordinance. After all public input has been received and the public hearing closed, the P&Z shall make its recommendations on the proposed zoning request and concept plan, if submitted, stating its findings, its overall evaluation of the request, and its assessment regarding how the request relates to the City's Comprehensive Plan. The P&Z may, on its own motion or at the applicant's request, defer its decision recommendations until it has had an opportunity to consider other information or proposed modifications to the request which may have a direct bearing thereon. If the P&Z elects to postpone or defer its hearing on the request, such action shall specifically state the time period of the postponement by citing the meeting date whereon the request will reappear on the P&Z's agenda.

2.34.2 When the P&Z is ready to act upon the zoning request, it may recommend:

- (a) approval of the request as it was submitted by the applicant;*
- (b) approval of the request subject to certain conditions as in the case of a Planned Development District (PDD) or a Conditional Use Permit (CUP); or*
- (c) disapproval of the request.*

2.34.3 The P&Z's recommendation will be automatically forwarded to the City Council for a second public hearing thereon.

Public Notification

A legal notice advertising the public hearing was placed in the Dripping Springs Century-News, signs were posted on the-site, notice was placed on the City Website, and all property owners within a 300-foot radius of the site were notified of the zoning map amendment. To date, no letters for or against the request have been received.

Attachments

Exhibit 1 – Zoning Map Amendment Application

Recommended Action:	Recommend approval of the requested zoning map amendment.
Alternatives/Options:	Recommend denial of the zoning map amendment.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A
Comprehensive Plan Goal:	Livability /Quality of Life Support Housing Options in Dripping Springs



DRIPPING SPRINGS
Texas

City of Dripping Springs

Item 8.

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

ZONING/PDD AMENDMENT APPLICATION

Case Number (staff use only): _____ - _____

CONTACT INFORMATION

PROPERTY OWNER NAME Van Merkel, LLC

STREET ADDRESS 102 Rose Drive

CITY Dripping Springs STATE Texas ZIP CODE 78620

PHONE _____ EMAIL fastfred54@aol.com

APPLICANT NAME Jon Thompson

COMPANY J Thompson Professional Consulting

STREET ADDRESS PO Box 172

CITY Dripping Springs STATE Texas ZIP CODE 78620

PHONE (512) 568-2184 EMAIL jthompsonconsultingds@gmail.com

REASONS FOR AMENDMENT

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	
PROPERTY ADDRESS	102 Rose Drive
CURRENT LEGAL DESCRIPTION	Van Merkel Addition, Lot 1
TAX ID#	R15132
LOCATED IN	<input checked="" type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	SF-4
REQUESTED ZONING/AMENDMENT TO PDD	MF w/ SF-4 Overlay
REASON FOR REQUEST <i>(Attach extra sheet if necessary)</i>	The owner wishes to build two additional duplexes (four units) on the property to rent. Was advised by City staff that the current zoning would not allow and that to achieve that goal a zoning amendment was necessary to change the zoning to MF w/ SF4 overlay.
INFORMATION ABOUT PROPOSED USES <i>(Attach extra sheet if necessary)</i>	Residential - duplexes for rent.

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? *
(See attached agreement).

YES (REQUIRED)* YES (VOLUNTARY)* NO*

* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver. Voluntary compliance is strongly encouraged by those not required by above criteria *(see Outdoor Lighting tab on the CODS webpage and online Lighting Ordinance under Code of Ordinances tab for more information).*

APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that Jon Thompson is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process.

(As recorded in the Hays County Property Deed Records, Vol. _____, Pg. _____.) Instrument # 11007548

[Handwritten Signature]
Name

PARTNER
Title

STATE OF TEXAS §

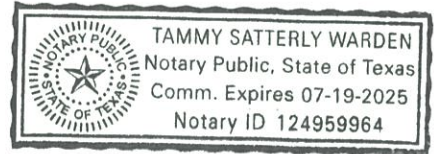
§

COUNTY OF HAYS §

This instrument was acknowledged before me on the 7 day of June, 2022 by Frederick K. Vanceura.

[Handwritten Signature]
Notary Public, State of Texas

My Commission Expires: 07-19-2025



Name of Applicant

ZONING AMENDMENT SUBMITTAL

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:

Jon Thompson
Applicant Signature

June 1, 2022
Date

CHECKLIST

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>PDF/Digital Copies of all submitted Documents</u> When submitting digital files, a cover sheet must be included outlining what digital contents are included.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (<i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description On application
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Concept Plan
<input type="checkbox"/>	<input type="checkbox"/>	Plans
<input type="checkbox"/>	<input type="checkbox"/>	Maps
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Planned Development District (<i>if applicable</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment

Project Number: _____ - _____
 Only filled out by staff



DRIPPING SPRINGS
 Texas

BILLING CONTACT FORM

Project Name: Zoning Amendment - 102 Rose Drive

Project Address: 102 Rose Drive

Project Applicant Name: Jon Thompson, J Thompson Professional Consulting

Billing Contact Information

Name: Fred Van Cura, Van Merkel, LLC

Mailing Address: 490 Old Park Road

Dripping Springs, Texas 78620

Email: fastfred54@aol.com

Phone Number: _____

Type of Project/Application (check all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Alternative Standard | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Street Closure Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Waiver |
| <input type="checkbox"/> Exterior Design | <input type="checkbox"/> Wastewater Service |
| <input type="checkbox"/> Landscape Plan | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Lighting Plan | <input checked="" type="checkbox"/> Zoning |
| <input type="checkbox"/> Site Development Permit | <input type="checkbox"/> Other _____ |

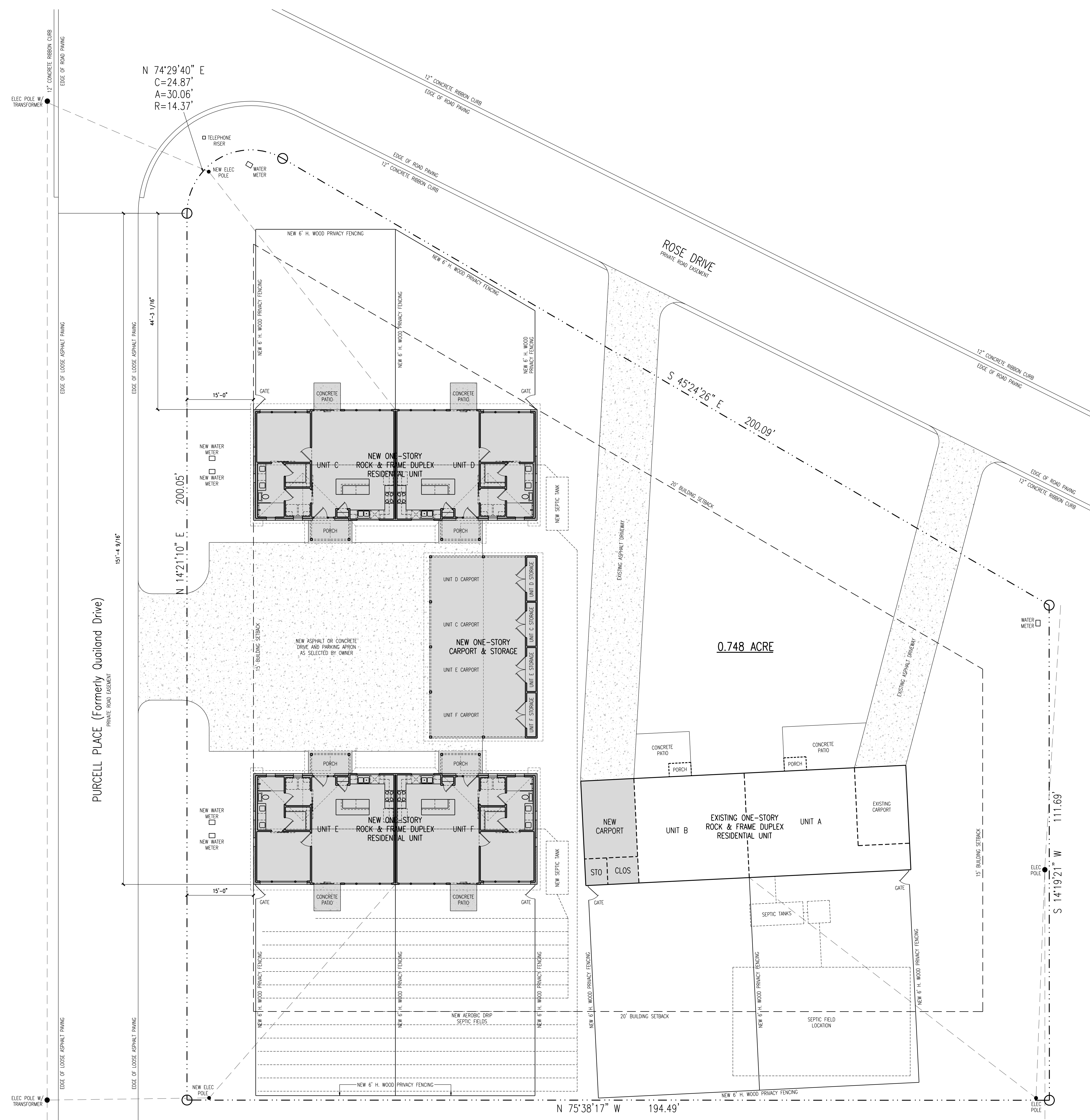
*Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. **Please see the online Master Fee Schedule for more details.** By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*

Jon Thompson

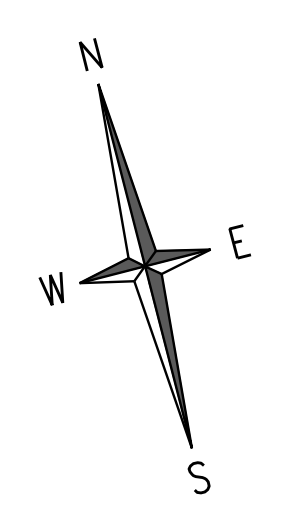
Signature of Applicant

June 1, 2022

Date



ARCHITECTURAL SITE PLAN
SCALE : 1" = 10'-0"



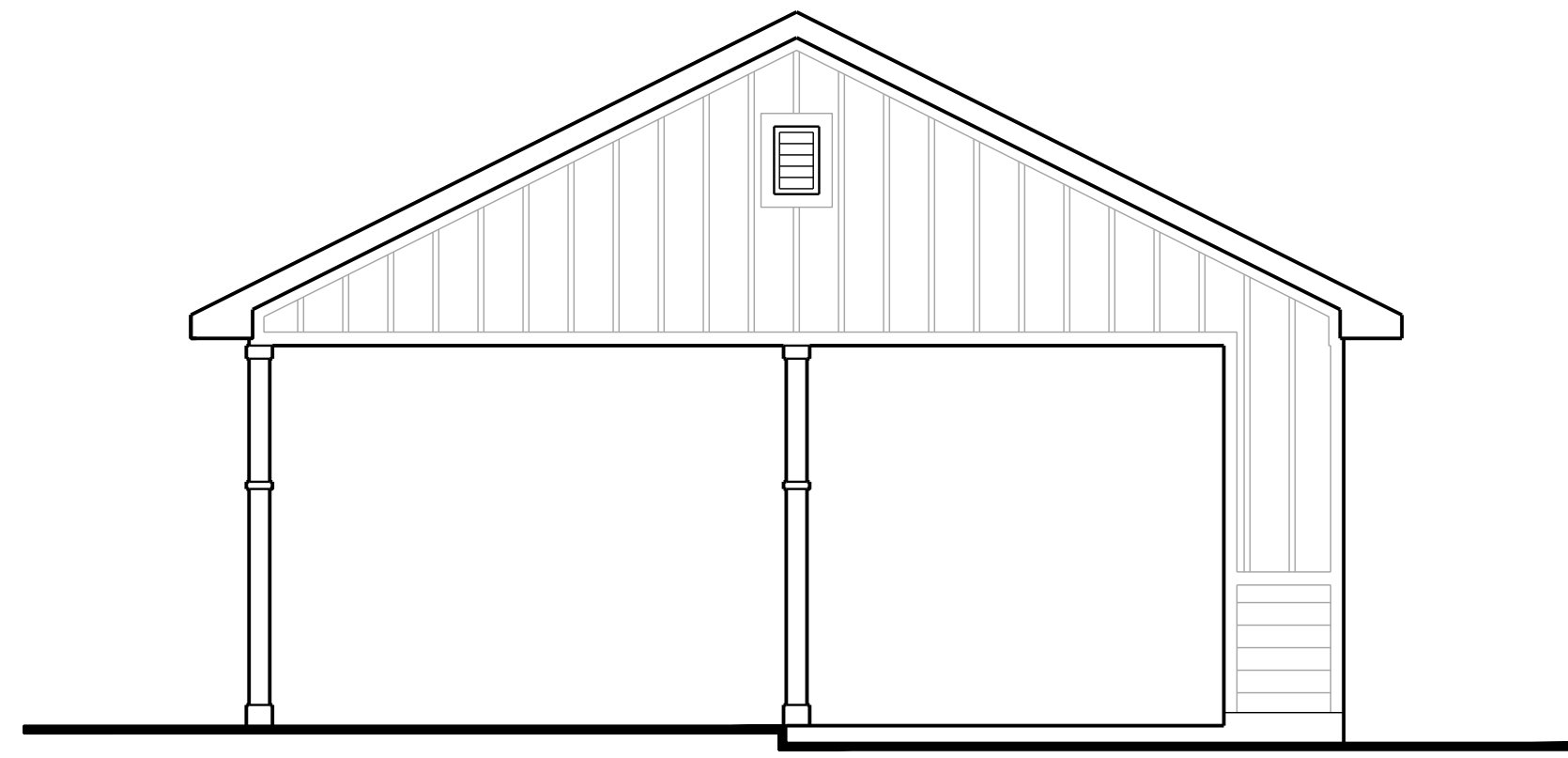
IMPERVIOUS COVERAGE	
TOTAL LOT AREA	32,592 SQ. FT.
EXISTING IMPERVIOUS COVER	3,747 SQ. FT.
EXISTING IMPERVIOUS COVER %	11.50 %
NEW IMPERVIOUS COVER	7,090 SQ. FT.
NEW IMPERVIOUS COVER %	33.25 %

REVISIONS

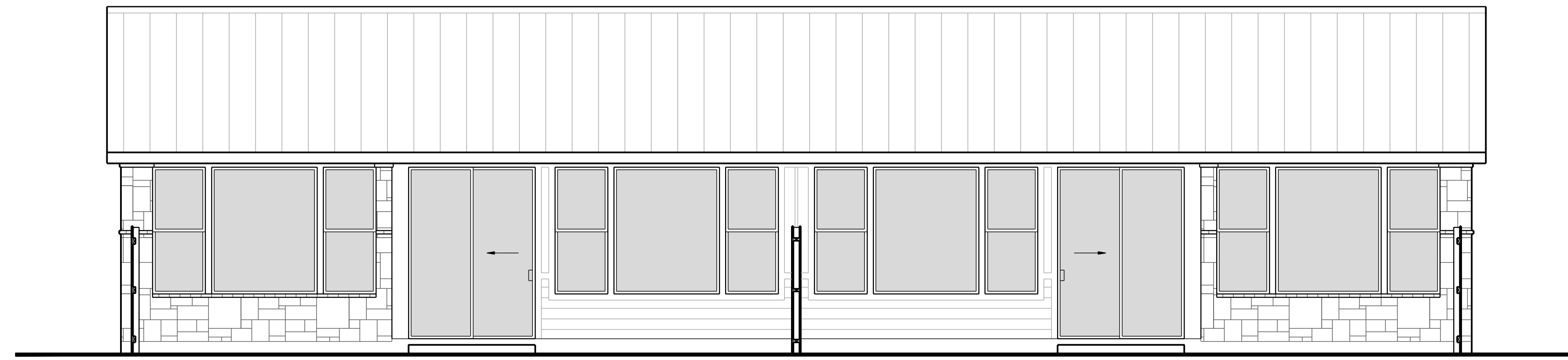
VAN2018
APR. 06, 2022
A1

Heron Design Studio
a r c h i t e c t u r e
101 Hays Street, Suite 409
Dripping Springs, Texas 78620
512.856.9869

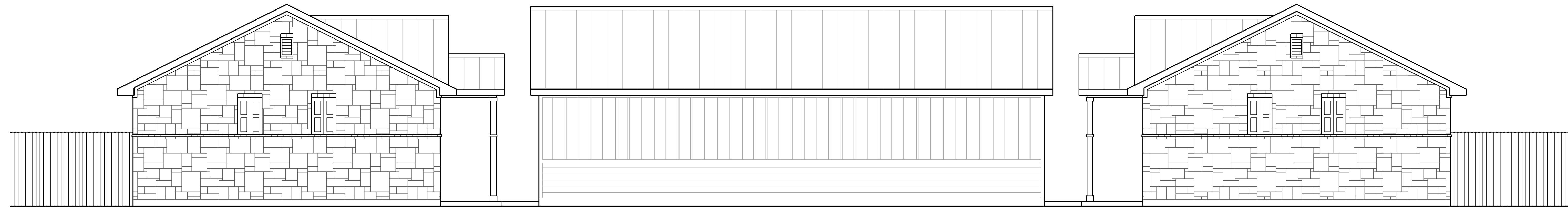
A New Duplex Project for Van-Merkel LLC
102 Rose Drive, Units C, D, E & F
Dripping Springs, Texas 78620



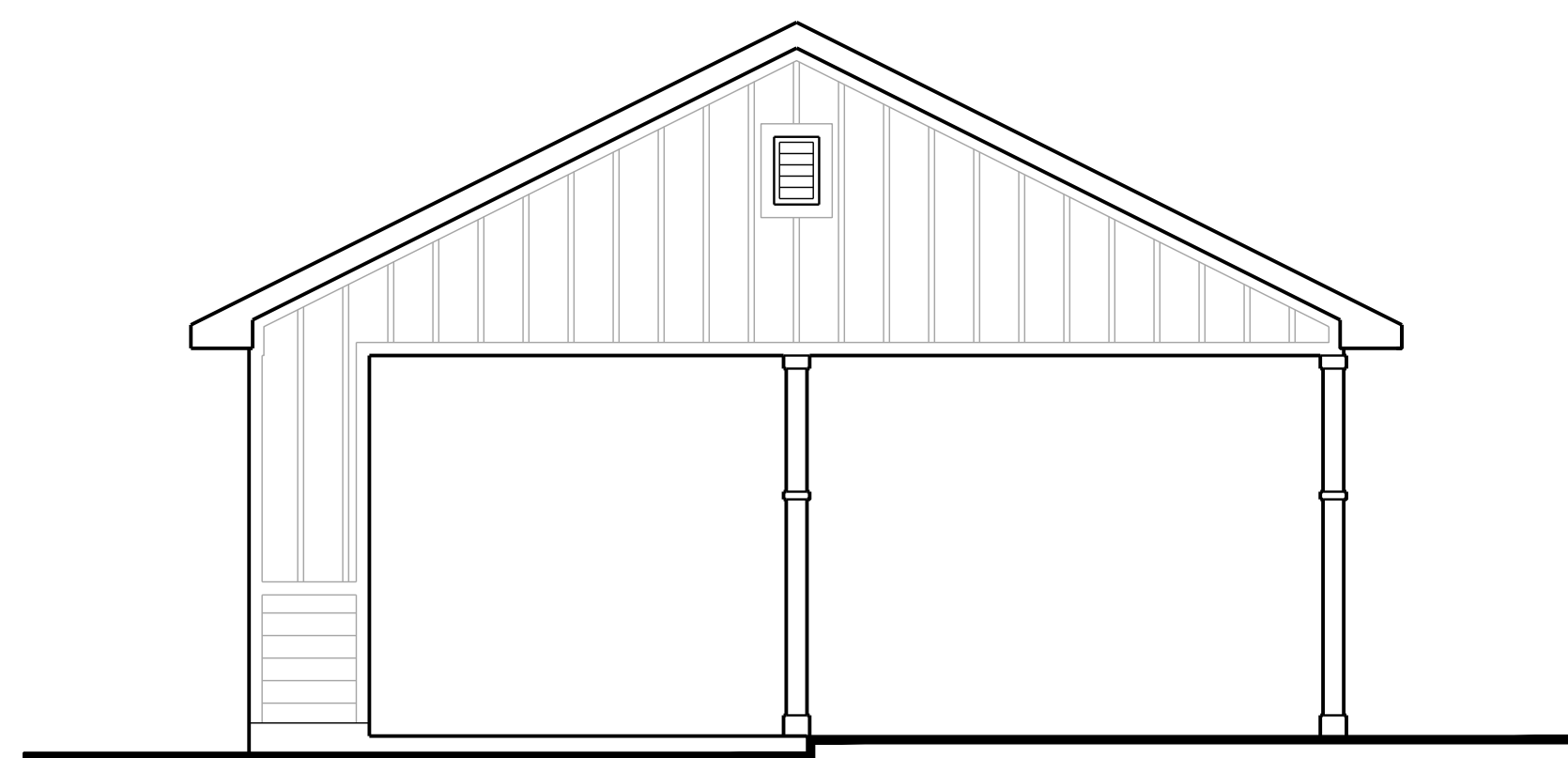
CARPORT RIGHT SIDE ELEVATION
FACES SOUTH
SCALE : 1/4" = 1'-0"



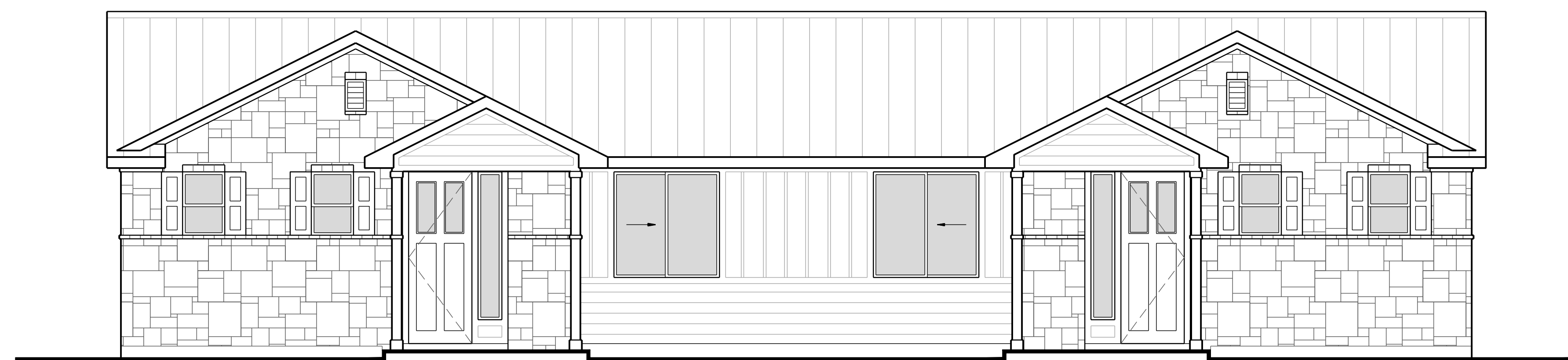
DUPLEX C/D REAR ELEVATION
FACES NORTH
DUPLICATE E/F SIMILAR
SCALE : 1/4" = 1'-0"



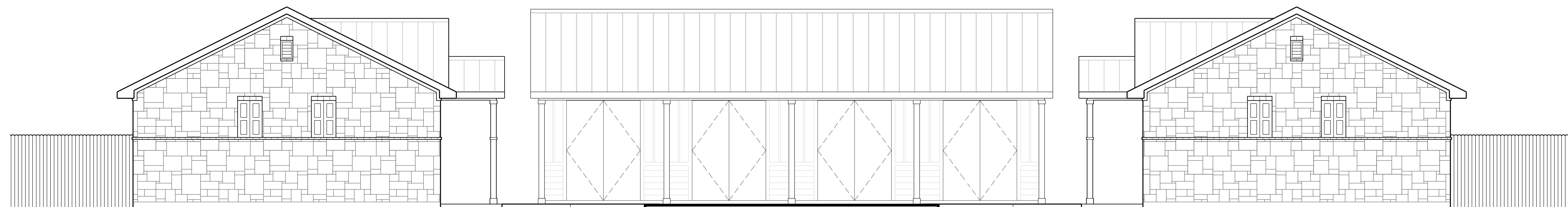
PROJECT EAST ELEVATIONS
FACES EXISTING DUPLEX A/B
SCALE : 1/4" = 1'-0"



CARPORT LEFT SIDE ELEVATION
FACES NORTH
SCALE : 1/4" = 1'-0"



DUPLEX C/D FRONT ELEVATION
FACES SOUTH
DUPLICATE E/F SIMILAR
SCALE : 1/4" = 1'-0"



PROJECT WEST ELEVATIONS
FACES PURCELL PLACE ROAD
SCALE : 1/4" = 1'-0"

A New Duplex Project for Van-Merkel LLC
102 Rose Drive, Units C, D, E & F
Dripping Springs, Texas 78620

Heron Design Studio
a r c h i t e c t u r e
101 Hays Street, Suite 409
Dripping Springs, Texas 78620
512.858.9889

REVISIONS

VAN2018
MAY 03, 2022
A5



Exterior View of Existing Duplex

The two new duplexes will complement this existing duplex

Subdivision Project Name	City Limits / ETJ	Location	Description	Status
SUB2021-0061 Big Sky Ranch Phase 3 Final Plat	CL	Big Sky Ranch	224 Lots on 81.71 acres. 215 are Residential	Approved
SUB2021-0062 Big Sky Ranch Phase 4 Final Plat	CL	Big Sky Ranch	136 Lots on 24.86 acres. 134 are Residential	Approved
SUB2021-0065 Heritage Phase 2 Final Plat	CL	Sportsplex Drive (Heritage Development)	162 Lots on 69.999 acres, 160 of which are residential with an average lot size of 0.143 acres	Waiting on Resubmittal
SUB2021-0069 Cannon Ranch Ph 1 Construction Plans	CL	Cannon Ranch Road	Development of 122 residential lots with public roadways, utilities, and drainage features.	Waiting on Resubmittal
SUB2021-0071 Cannon Ranch OffSite Waterline	CL	Cannon Ranch Road	The construction of an offsite waterline that is approximately 4 acres	Approved with conditions
SUB2021-0073 Hardy Preliminary Plat	CL	2901 W US 290	41 Residential lots on 39.341	Under Review
SUB2022-0002 Hays Street Subdivision	CL	102 Bluff Street	Subdivision of 6 residential lots in the Historic District	Waiting for Resubmittal
SUB2022-0006 AHC Preliminary Plat (PDD11)	CL	27110 RR12	Platting 4 lots. Three lots for multifamily and one for ROW	Approved with conditions
SUB2022-0007 AHC Final Plat (PDD11)	CL	27111 RR12	Platting 4 lots. Three lots for multifamily and one for ROW	Approved with conditions
SUB2022-0008 Wild Ridge Preliminary Plat	CL	E US 290	Preliminary Plat for 863 residential lots and one commercial lot.	Waiting for Resubmittal
SUB2022-0009 Driftwood Subdivision Phase 3 Preliminary Plat	ETJ	17901 FM 1826	Preliminary Plat for 14 lots: 12 Residential, 1 Commercial, 1 Industrial	Approved with conditions
SUB2022-0011 BR Subdivision MP	CL	26918 RR 12	Moratorium Exception Form	Waiting for Resubmittal
SUB2022-0012 Driftwood Sub Ph 3 Sec 1 FP	ETJ	17901 FM 1826	Final Plat for 1 Commercial Lot	Approved with conditions
SUB2022-0013 Driftwood Sub Ph 3 Sec 2 FP	ETJ	17901 FM 1826	FP for 11 single-family residential lots, 1 open space lot, and 1 private street lot on 34.67 acres	Approved with conditions
SUB2021-0011 Double L Phase 1 Prelim Plat	ETJ	1.5 miles N of US 290 & RR 12	PP for 243 residential units and 1 amenity center	Approval with Conditions
SUB2022-0016 Parten Ranch Ph 6 & 7 CP	ETJ	600 Two Creeks Lane, Austin Tx 78737	Construction Plans	Waiting for Resubmittal
SUB2022-0017 Rob Shelton - Cannon	CL	Rob Shelton Boulevard	Construction Plans	Waiting for Resubmittal
SUB2022-0018 Caliterra Ph 5 Section 14 CP	ETJ	Premier Park Loop	Construction Plans	Under Review
SUB2022-0019 Ladera Sub, Lot 2 Replat	ETJ	4630 W Hwy 290	Replat	Approved with conditions
SUB2022-0020 Caliterra Phase 5 Sec 14 FP	ETJ	Premier Park Loop	Final Plat for 25 Residential Lots	Approved
SUB2022-0021 Headwaters at BC Phase 3 CP	ETJ	Intersection of Hazy Hills Loop and Roy Branch Road	Construction Plans	Waiting for Resubmittal
SUB2022-0023 Overlook at Bunker Ranch CP	CL	2004 Creek Road	Construction Plans for 12 single family lots with 1 drainage lot	Approved with conditions
SUB2022-0024 Driftwood Sub Phase 3 Sec 2 CP	ETJ	17901 FM 1826	Construction Plans for streets, drainage, water and wastewater	Under Review
SUB2022-0025 Driftwood Club Core Ph 5 CP	ETJ	Thurman Roberts Way	Condo Regime with nine (35) detached residential units	Waiting for Resubmittal
SUB2022-0026 101 Bob White Cove Replat	CL	101 Bob White	One lot into two lots	Waiting for Resubmittal
SUB2022-0027 Amending Plat of Lots 49 & 50, Block A, DW Sub, Ph 1 Sec 3, Final Plat	ETJ	Klein Court	From two lots to one lot	Approved
SUB2022-0028 Parten Ranch Phase 8	ETJ	End of Bird Hollow near Trickling Brook Road Intersection	90 Lot Subdivision	Under Review
SUB2022-0029 Vitovich Plaza, Lot 1 Replat	ETJ	Bell Springs Rd	From one lot to two lots	In Administrative Completeness
SUB2022-0030 Burke Subdivision, Lot 1A Replat	ETJ	20650 FM 150	From one lot to two lots	Approved with conditions
SUB2022-0031 Patriots Hall AP	ETJ	231 Patriots Hall Blvd	Combining the existing 4 lots into 1 lot	Waiting for Resubmittal
SUB2022-0032 Headwaters Commercial East Phase 1	CL	Headwaters Blvd	Preliminary platting 4 lots	Approved
SUB2022-0033 The Ranch at Caliterra	ETJ	Premier Park Loop	Preliminary plat of the Carter tract with 243 lots	Waiting for Resubmittal
SUB2022-0034 Tiger Lane Subdivision FP	CL	US 290 & Tiger Lane	Final Platting one lot	Waiting for Resubmittal
SUB2022-0035 Horse Trail Homes MP	ETJ	420 Horse Trail Drive	Platting two lots	Waiting for Resubmittal
SUB2022-0036 Driftwood Creek FM 150 12 Treated Effluent and 10 Raw Wastewater Force mains Ph I and II	ETJ	FM 150	12 inch treated effluent line and 10 inch wastewater force mains to connect with Dripping Springs WWTP	Waiting for Resubmittal
SUB2022-0037 Re-subdivision of Lot 2, Driftwood 967 Phase One FP	ETJ	Near the intersection of FM 1826 and FM 967	Replatting the already platted lot for mixed-use development. This is to be part of the Driftwood Development	Under Review
SUB2022-0038 Hanelius Replat	ETJ	449 Twin Oaks Trl	From one lot to two lots	Under Review
SUB2022-0039 Village Grove Preliminary Plat	CL	Sports Park Rd	Village Grove PDD. This is 112.40 acres including 207 lots, 511 residential units, and 6.82 acres will be commercial	Under Review

ADMINISTRATIVE APPROVAL PROJECTS				
Site Development Project Name	City Limits / ETJ	Location	Description	Status
SD2021-0005 Dripping Springs WWTP Expansion	CL	23127 FM 150 W	Expansion of the Wastewater treatment plant	Under Review
SD2021-0008 AHC Development (aka PDD 11)	CL	27110 RR 12	Construction of a new Multi-Family complex and its necessary infrastructure and a public extension of S Rob Shelton Blvd	Approved w/ Conditions
SD2021-0021 RR 12 Commercial Kitchen	CL	28707 RR 12	Commercial kitchen that will support a catering business, no on-site dining is proposed	Approved w/ Conditions
SD2021-0012 Pet Paradise	ETJ	13526 W Hwy 290	This project is a pet retreat facility with building, parking, and utilities. The site will drain via a storm sewer network to an existing shared water quality pond.	Approved
SD2021-0013 Dreamland	ETJ			Waiting on resubmittal
SD2021-0015 Arrowhead Ranch C-Store	CL	140 Arrowhead Ranch Blvd	Plat to establish 2 lots for commercial development, to include a convenience store with gas sales, car wash and retail sales	Approved
SD2021-0022 Sawyer Ranch Lot 4A	ETJ	13341 W US HWY 290	Commercial buildings, parking, utilities and sidewalks on 4.68 acres of the Sawyer Ranch subdivision	Approved w/ Conditions
SD2021-0028 Sawyer Ranch 33, Tract 3	CL	Sawyer Ranch	Infrastructure Plan to Install and construct utilities, drainage, water quality, and street/driveway improvements for the entirety of the tract	Approved
SD2021-0029 Jackson Lighting	CL	Along US 290 near Sawyer Ranch Rd	Construction of new building for the Jackson Lighting business	Approved
SD2021-0030 Belterra Townhomes	ETJ	Belterra	Seven townhome units with associated parking, sidewalk, utilities, and drainage	Waiting on resubmittal
SD2021-0031 Rob Shelton Blvd. Extension	CL	Rob Shelton	An extension of Rob Shelton South bound per PDD 11	Under Review
SD2022-0001 Julep Commercial Park	ETJ	Northeast corner of W US 290 and Trautwein Rd	11.27 acre site of mixed-use commercial buildings with supporting driveways, water quality and detention pond, rainwater harvesting, and other utilities	Waiting on resubmittal
SD2022-0002 East Ledgestone Commercial	ETJ	Ledgestone	5 mixed-use, commercial buildings with associated utilities, paving, sidewalks and drainage	Waiting on resubmittal
SD2022-0003 210 Creek Road Site Plan	CL	210 Creek Road	Proposed residential development, these are condoized units	Approved
SD2022-0005 Dripping Springs Storage Phase 2	ETJ	14001 W US 290	Proposed addition of outdoor garage storage to an existing indoor storage facility	Approved
SD2022-0010 Wenty's Wine Bar	ETJ	5307 Bell Springs Rd	Wine bar and associated improvements	Waiting on resubmittal
SD2022-0006 Mark Black Wedding Venue	ETJ	13 Concord Circle	The project proposes to eliminate the overflow parking at the rear of the development.	Approved
SD2022-0007 Heritage Effluent Line Stage II Extension	CL	511 Mercer Street	Extension of the existing 12" effluent line north along RR12, along with an 8" effluent line that spans from Rob Shelton, across Hwy 290, and north to Heritage Stage 2	Under Review
SD2022-0008 Patriot's Hall Phase 1B	ETJ	231 Patriots Hall Blvd	New Patriot's Hall event building with parking, infrastructure and water quality	Waiting on resubmittal
SD2022-0013 DS Flex Business Park	CL	28513 RR 12	Construction of two shell buildings with accompanying site improvements	In Administrative Completeness
SD2022-0011 Skybridge Academy	CL	519 Old Fitzhugh Road	Remodel/repurpose of existing historic structures, add new construction to tie together the house and garage with additional parking and revised driveway	Under Review
SD2022-0012 Oakwood Market	CL	Intersection of Bevery Drive and Kibo Ridge	One commercial mixed use building with parking lot and associated utility improvements	Approved
SD2022-0014 Bell Springs Site Plan (Travis Flake)	ETJ	5307 Bell Springs Rd	Office and Warehouse with drives, parking, waterline connection, and pond	Waiting on resubmittal
SD2022-0015 Over Yonder Nature School	ETJ	5000 Bell Springs	Addition of structures, parking, utility and drainage for a nature school	Waiting on resubmittal
SD2022-0016 JWLP Lot 6 Revision 1	CL	249 Sportsplex Drive	Revision to the original site plan	Waiting on resubmittal
SD2022-0017 Lookout Apartments	ETJ	13059 Four Star Blvd	Apartments with 241 Units	Approved
SD2022-0018 Office 49	ETJ	241 Frog Pond Lane	The construction of eleven office buildings of varying sizes along with the related paving, grading, drainage, and utility improvements.	Waiting on resubmittal
SD2022-0019 Double L Ranch, Phase 1	ETJ	RR 12	Construction of water, wastewater, drainage and paving improvements for 244 single family lots.	Waiting on resubmittal
SD2022-0020 Merigian Studios	ETJ	105 Daisy Lane	Art studio with driveway, parking, and external structures	Waiting on resubmittal
SD2022-0021 Canyonwood Ridge Site Plan Revision	ETJ	205 S. Canyonwood Drive	To modify the single existing driveway along S. Canyonwood Drive to better accommodate the turning radius of vehicles up to 45 feet in length. The existing roadside ditch along S. Canyonwood will also be adjusted based on the revised driveway.	Under Review
SD2022-0022 Belterra Medical Office	ETJ	164 Belterra Village Way	Medical office building with associated parking, sidewalk, utility and drainage improvements	Under Review
SD2022-0023 Christian Automotive	ETJ	100 N. Canyonwood Drive	Construction of an approximately 6,000 square feet of light automotive facility	Under Review

<i>Ongoing Projects</i>	
Comprehensive Plan	Public meeting to discuss the comprehensive plan on Monday, September 12
Village Grove	PDD Approved - Preliminary Plat in queue
New Growth	PDD Approved
Cannon East	Staff toured the property Monday, May 2nd; comments from the DAWG meeting and tour were sent to the developer, he has responded to many of them, a few require additional meetings between staff/development team. Currently waiting to coordinate the variance chart meeting.
Moratorium	Extended to September 18